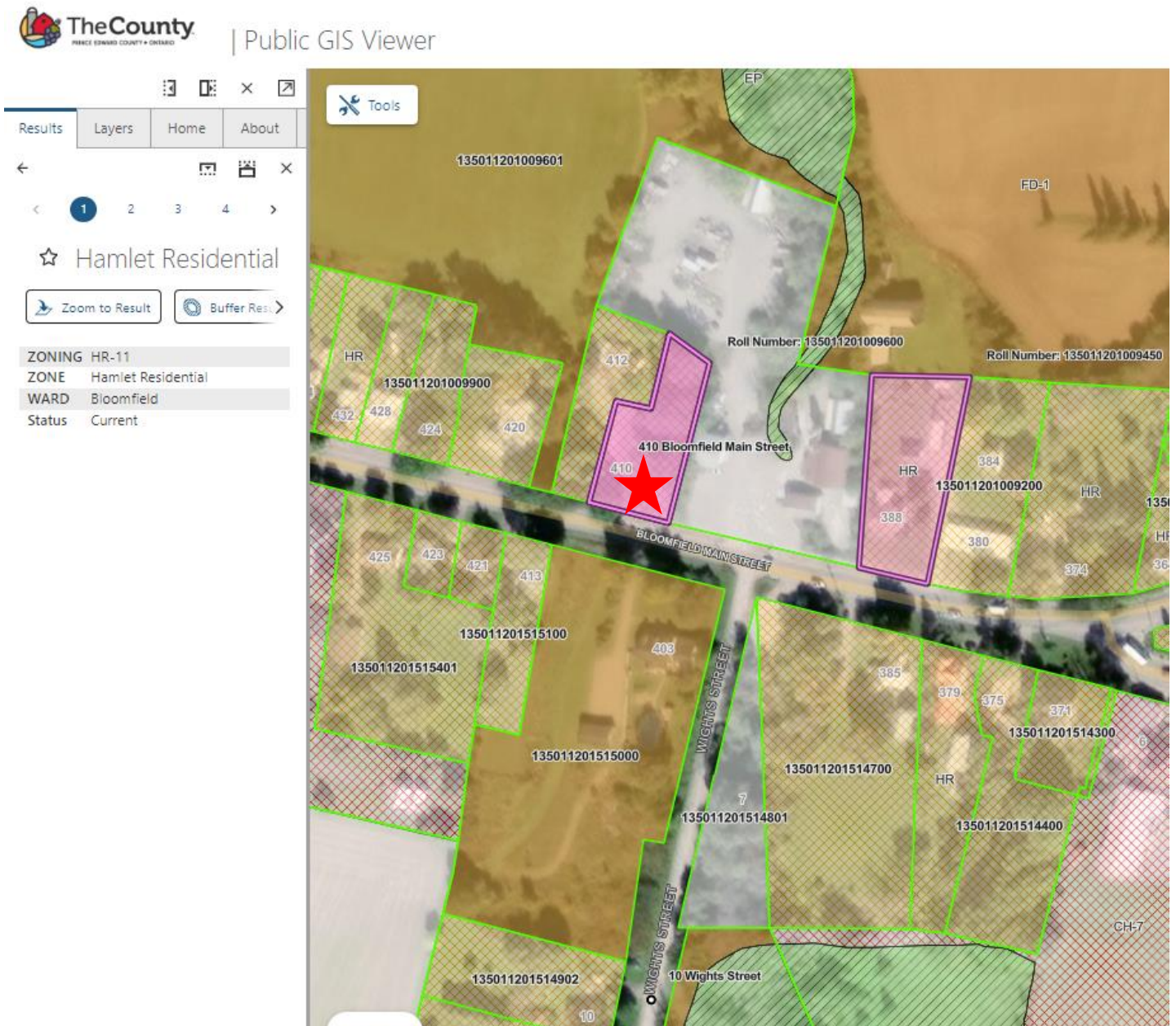


Zoning Information

410 Main Street Bloomfield



HR-11 – Hamlet Residential Zone

SECTION 13 HAMLET RESIDENTIAL (HR) ZONE

No person shall within any Hamlet Residential (HR) Zone use any land or erect, alter or use any building or structure except in accordance with the following provisions:

(Amending by-law No. 3399-2014)

No development on lands zoned Hamlet Residential HR-H1 or HR-H2 shall take place until such time as the "Special Holding" (H1) and "Special Holding" (H2) zone symbols have been removed by amendment to this By-law in accordance with the provisions of Section 36 of the Planning Act, R.S.O. 1990, c.P.13, as amended. Until such time as the "Special Holding" (H1) and "Special Holding" (H2) symbols have been removed, the only uses, buildings or structures permitted on the lands shall be those existing at the date of passing of this By-law.

Upon removal of the "Special Holding" (H1) symbol suffixed to the HR-H1 Zone category, the uses and zone provisions of the Hamlet Residential (HR) Zone shall apply to the lands so zoned.

Upon removal of the "Special Holding" (H2) symbol suffixed to the HR-H1 Zone category, the uses and zone provisions of the Hamlet Residential (HR) Zone shall apply to the lands so zoned.

13.1 PERMITTED RESIDENTIAL USES

13.1.1 one single detached dwelling

13.1.2 home business

13.1.3 private home day care

13.1.4 bed and breakfast establishment

13.1.5 group home

13.1.6 uses, buildings and structures accessory to the foregoing permitted uses

13.1.7 one second unit or one garden suite

13.2 PERMITTED NON-RESIDENTIAL USES

13.2.1 public uses or utilities in accordance with the provisions of Section 4.23 of this By-law

13.3 REGULATIONS FOR PERMITTED RESIDENTIAL USES

13.3.1 Minimum Lot Area

- i. Lot serviced by a public water system
 - 1. Bloomfield and Consecon 2,000 m²
(21,528.5 sq. ft.)
 - 2. Rossmore 3,000 m²
(32,292.8 sq. ft.)
 - 3. All Other Hamlets 4,000 m²
(43,057.1 sq. ft.)
- ii. Lot serviced by private individual water supply and sewage disposal systems 4,000 m²
(43,057.1 sq. ft.)

13.3.2 Minimum Lot Frontage

- i. Lot serviced by a public water system 30 m (98.4 ft.)
- ii. Lot serviced by private individual water supply and sewage disposal systems 45 m (147.6 ft.)

13.3.3 Minimum Front Yard 6 m (19.7 ft.)

13.3.4 Minimum Exterior Side Yard 6 m (19.7 ft.)

13.3.5 Minimum Interior Side Yard 3 m (9.8 ft.)

13.3.6 Minimum Rear Yard 7.5 m (25 ft.)

13.3.7 Maximum Lot Coverage (all buildings and structures)

- i. Lot serviced by a public water system 25%
- ii. Lot serviced by private individual water supply and sewage disposal systems 15%

13.3.8 Minimum Landscaped Open Space 30 %

13.3.9 Maximum Height of Buildings 10 m (33 ft.)

13.3.10 Maximum Number of Dwelling Units Per Lot 2

13.4 GENERAL PROVISIONS AND PARKING, DRIVEWAY AND LOADING PROVISIONS

All provisions of Section 4, General Provisions and Section 5, Parking, Driveway and Loading Provisions, of this By-law where applicable to the use of any land, building or structure permitted within the Hamlet Residential (HR) Zone and any special zone thereunder, shall apply and be complied with.

13.5 SPECIAL HAMLET RESIDENTIAL (HR) ZONES

Except as specifically exempted or varied with the following special zones, all other requirements of this By-law shall apply.

13.5.1 HR-1 Zone (428 Main Street, Ward of Bloomfield)

Notwithstanding any provisions of this By-law to the contrary, within the HR-1 Zone, the following provisions shall apply:

- | | | |
|------|---|------------------|
| i. | Minimum Front Yard | 9.7 m (32 ft.) |
| ii. | Minimum Lot Frontage | 14.9 m (49 ft.) |
| iii. | Minimum Side Yard along easterly lot line | 0.9 m (3 ft.) |
| iv. | Minimum Side Yard along westerly lot line | 0.85 m (2.8 ft.) |

13.5.2 HR-2 Zone (464 Main Street, Ward of Bloomfield)

Notwithstanding any provisions of this By-Law, to the contrary, within the HR-2 Zone the following provisions shall apply:

- | | | |
|------|----------------------|-----------------------------------|
| i. | Minimum lot area | 733 m ² (7890 sq. ft.) |
| ii. | Minimum lot frontage | 19.5 m (63.97 ft.) |
| iii. | Minimum front yard | 4.0 m (13.12 ft.) |
| iv. | Minimum side yard | 3.5 m 11.48 ft.) |

13.5.3 HR-3 Zone (438 Main Street, Ward of Bloomfield)

Notwithstanding any provisions of this By-law to the contrary, within the HR-3 Zone the following provisions shall apply:

- | | | |
|------|----------------------|-------------------------------------|
| i. | Minimum Lot Area | 767.5 m ² (8262 sq. ft.) |
| ii. | Minimum Lot Frontage | 12.8 m (42 ft.) |
| iii. | Minimum Front Yard | 2.8 m (9.1 ft.) |
| iv. | Minimum Side Yard | 1.8 m (6.0 ft.) |

13.5.4 HR-4 Zone (5 Duncan Street, Ward of Bloomfield)

Notwithstanding any provisions of this By-law to the contrary, within the HR-4 Zone the following provisions shall apply:

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|------|----------------------|-----------------------------------|
| i. | Minimum Lot Area | 641 m ² (6900 sq. ft.) |
| ii. | Minimum Lot Frontage | 18 m (59 ft.) |
| iii. | Minimum Front Yard | 2.4 m (8 ft.) |
| iv. | Minimum Side Yard | 0.9 m (3 ft.) |

13.5.5 HR-5 Zone (460 Main Street, Ward of Bloomfield)

Notwithstanding any provisions of this Bylaw to the contrary, within the HR-5 Zone the following provisions shall apply:

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|------|----------------------|-----------------|
| i. | Minimum Lot Frontage | 13.7 m (45 ft.) |
| ii. | Minimum Front Yard | 7.6 m (25 ft.) |
| iii. | Minimum Side Yard | 0.3 m (1 ft.) |

13.5.6 HR-6 Zone (493 Main Street, Ward of Bloomfield)

Notwithstanding any provisions of this By-law to the contrary, within the HR-6 Zone the following provisions shall apply:

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|------|----------------------|--|
| i. | Minimum Lot Area | 1,068.4 m ²
(11,500 sq. ft.) |
| ii. | Minimum Lot Frontage | 25.6 m (84 ft.) |
| iii. | Minimum Front Yard | 5.5 m (18 ft.) |
| iv. | Minimum Side Yard | 2.7 m (9 ft.) |

13.5.7 HR-7 Zone (489 Main Street, Ward of Bloomfield)

Notwithstanding any provisions of this By-law to the contrary, within the HR-7 Zone, the following provisions shall apply:

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|------|----------------------|------------------------------------|
| i. | Minimum Lot Area | 650 m ² (7,000 sq. ft.) |
| ii. | Minimum Lot Frontage | 16.8 m (55 ft.) |
| iii. | Minimum Front Yard | 9.8 m (32 ft.) |
| iv. | Minimum Side Yard | 0.9 m (3 ft.) |

13.5.8 HR-8 Zone (1 Peter Street, Ward of Bloomfield)

Notwithstanding any provisions of this By-law to the contrary, within the HR-8 Zone, the following provisions shall apply:

- | | | |
|------|---|-----------------------------------|
| i. | Minimum Lot Area | 808 m ² (8700 sq. ft.) |
| ii. | Minimum Lot Frontage | 20.4 m (67 ft.) |
| iii. | Minimum Front Yard | 4.5 m (15 ft.) |
| iv. | Minimum Side Yard along easterly lot line | 0 m (0 ft.) |
| v. | Minimum Side Yard along westerly lot line | 2.1 m (7 ft.) |

13.5.9 HR-9 Zone (17 Stanley Street, Ward of Bloomfield)

Notwithstanding any provisions of this by-law to the contrary, within the HR-9 Zone, the following provisions shall apply:

- | | | |
|------|--|-----------------|
| i. | Minimum Front Yard | 4.3 m (14 ft.) |
| ii. | Minimum Front Yard for an accessory building | 12.2 m (40 ft.) |
| iii. | One off street parking space, other than that required for the | |

dwelling, is to be provided for every 18.58 m² (200 sq. ft.) of floor space of the accessory building used for the home business.

13.5.10 HR-10 Zone (Linda Elizabeth Beatty, Ward of Bloomfield)

Notwithstanding any provisions of this By-law to the contrary, within the HR-10 Zone, the following provisions shall apply:

- i. Minimum Lot Area 0.37 ha (0.93 ac)
- ii. Minimum Lot Frontage 43.5 m (143 ft.)
- iii. Minimum setback of any dwelling from the drainage ditch on the lands zoned HR-10 shall be 15 m (49.2 ft.).
- iv. Any development on the lands zoned HR-10 will be required to be connected to the municipal water supply.

13.5.11 HR-11 Zone (Ward of Bloomfield)

Notwithstanding any provisions of this By-law to the contrary, within the HR-11 Zone, the following provisions shall apply:

- i. Permitted Uses
 1. a duplex dwelling existing on the date of passing of this by-law
 2. a semi-detached dwelling existing on the date of passing of this by-law
 3. group home
- ii. Provisions for Permitted Uses
 1. Minimum Lot Area 2787 m² (30,000 sq. ft.)
 2. Minimum Lot Frontage 50 m (165 ft.)
 3. Maximum Lot Coverage 20%
 4. Minimum Front Yard 15.25 m (50 ft.)
 5. Minimum Side Yard 4.5 m (15 ft.)
 6. Minimum Rear Yard 6.0 m (20 ft.)
 7. Maximum Height 9.1 m (30 ft.)
 8. Minimum Floor Area per dwelling unit 83.6 m² (900 sq. ft.)

13.5.12 HR-12 Zone (145 Main Street, Ward of Bloomfield)

Notwithstanding any provisions of this By-law to the contrary, within the HR-12 Zone, the following provisions shall apply:

- i. A duplex dwelling shall also be a permitted use
- ii. Minimum lot frontage 44 m (144 ft.)
- iii. Minimum front yard 3.2 m (10.4 ft.)

13.5.13 HR-13 Zone (Part of Lots 1 & 2 Concession Lakeside West Cape Vesey, Ward of North Marysburgh) (Part of Lot 1, Concession Lakeside North of Smith's Bay, Ward of North Marysburgh)