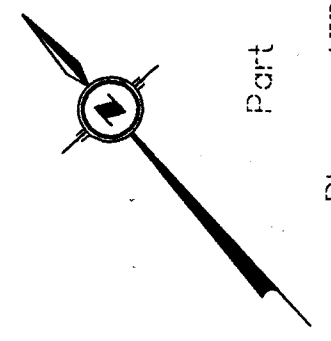


**METRIC :** DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**PLAN OF**  
**PART OF LOT 24**  
**REGISTERED PLAN B-25**  
**(FORMERLY TOWNSHIP OF TORONTO AND COUNTY OF PEEL)**  
**PART OF BLOCKS 3 AND 7**  
**REGISTERED PLAN 43M-677**  
**AND**  
**PART OF BLOCK 4**  
**REGISTERED PLAN 43M-893**  
**CITY OF MISSISSAUGA**  
**REGIONAL MUNICIPALITY OF PEEL**

**SCALE 1:350**  
 0m 5m 10m 20 metres  
**P. HOFMANN, O.L.S.**  
**2004.**



**PEEL STANDARD CONDOMINIUM PLAN No. 712**  
**LEVEL 1**  
**UNITS 1 to 181, inclusive**

REGISTERED IN THE LAND REGISTRY OFFICE FOR THE LAND TITLES DIVISION OF PEEL (No.43) AT BRAMPTON AT 4:16 O'CLOCK ON THE 17th DAY OF June, 2004.  
 DATE  
*J. Madisson*  
 ASST/DEP. LAND REGISTRAR

**SURVEYOR'S CERTIFICATE**  
 I CERTIFY THAT:  
 1) THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE CONDOMINIUM ACT 1998, THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.  
 2) THIS SURVEY WAS COMPLETED ON THE 12th DAY OF March, 2004.  
 3) THE DIAGRAMS OF THE UNITS SHOWN ON THIS PLAN ARE SUBSTANTIALLY ACCURATE.  
 DATED THIS 2nd DAY OF April, 2004.  
*P. Hofmann*  
 P. HOFMANN  
 Ontario Land Surveyor  
 DECLARATION REGISTERED AS No. PR658414

**INDEX OF SHEETS**

PART SHEETS	DESCRIPTION
1	PLAN OF SURVEY, BOUNDARY AND SECTIONS SHOWING CONDOMINIUM LIMITS, APPURTENANT AND SERVIENT INTEREST AND LIMITS
2	EXCLUSIVE USE PORTIONS OF COMMON ELEMENTS
3	ARCHITECTURALS
4	STRUCTURALS

**SCHEDULE OF APPURTENANT AND SERVIENT INTEREST**  
 (Pursuant to Section 4(1)(b) and (c) of the Condominium Act, 1998)

TOGETHER WITH (APPURTENANT INTERESTS)	PLAN	DESCRIBED IN	NOTES
15, 17 and 18	43R-28884	Declaration	
10 and 20	43R-28884	LT 1258376	
3, 4, 5, 6, 13, 14, 15, 16, 17, 23 and 24	43R-18530	LT 1258379	
3, 4, 5, 6, 13, 14, 15, 16, 17, 23 and 24	43R-28884	LT 1258383	
17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28 and 29	This Plan	Declaration	
Common Elements on Levels 1, 2, 3 and 8	43R-28884	Int. REG2786	
28	43R-28884	Int. REG2786	

This Plan Comprises: Parts 1, 5, 7, 8, 22, 23, 24, 26, 27 and 28  
 On Plan 43R-28884 Being Part of P.I.N. 13144-0419(LT); And  
 Parts 2, 3, 4, 9, 13, 16, 19, 20, 21, 25 and 26  
 On Plan 43R-28884 Being Part of P.I.N. 13144-0420(LT)

**NOTES**

BEARINGS SHOWN HEREON ARE GRID BEARINGS DERIVED FROM THE ONTARIO CO-ORDINATE SYSTEM, ZONE 10, CENTRAL MERIDIAN 79°30' WEST LONGITUDE AND ARE REFERRED TO THE NORTH WESTERLY LIMIT OF BLOCK 16 AS SHOWN ON REGISTERED PLAN 43M-677 HAVING A BEARING OF N39°14'10"E

- DENOTES SURVEY MONUMENT SET
  - DENOTES SURVEY MONUMENT FOUND
  - SSB DENOTES SHORT STANDARD IRON BAR
  - SB DENOTES STANDARD IRON BAR
  - CC DENOTES CUT CROSS
  - W/L DENOTES WITNESS
  - U/B1 DENOTES UNIT 181
- ALL FOUND MONUMENTS ARE BY I.M. PASTUSHAK LIMITED UNLESS OTHERWISE NOTED.

**BENCH MARK**

ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE REFERRED TO THE CITY OF MISSISSAUGA BENCH MARK No. 883 HAVING AN ELEVATION OF 135.984 m.

**UNIT BOUNDARY DEFINITION**

THE MONUMENTS CONTROLLING THE EXTENT AND LOCATION OF THE UNITS ARE THE WALLS, FLOORS AND CEILINGS AS MORE PARTICULARLY DESCRIBED IN THE DECLARATION (SEE SCHEDULE "C")

**CERTIFICATE OF DECLARANT**

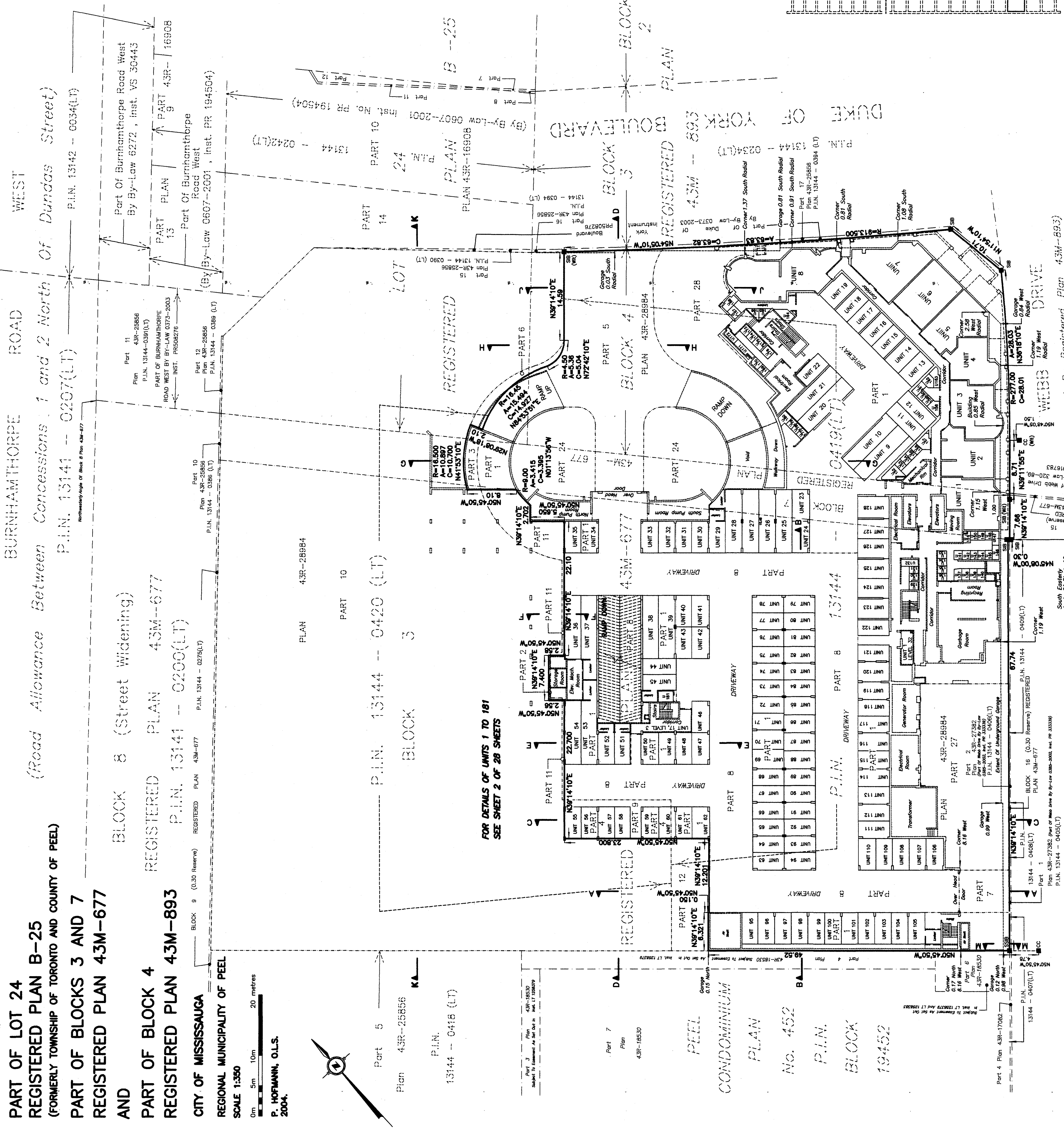
THIS IS TO CERTIFY THAT THE PROPERTY INCLUDED IN THIS PLAN HAS BEEN LAID OUT INTO UNITS AND COMMON ELEMENTS IN ACCORDANCE WITH OUR INSTRUCTIONS

**OWNER:**  
**OVATION AT CITY CENTRE INC.**  
 DATED THIS 2nd DAY OF April, 2004.

*[Signature]*  
 TONY MORO  
 Authorized Signing Officer  
 I Have The Authority To Bind The Corporation

*[Signature]*  
 GEOFFREY GRAYHURST  
 Authorized Signing Officer  
 I Have The Authority To Bind The Corporation

**I.M. PASTUSHAK LIMITED**  
 ONTARIO LAND SURVEYORS  
 SUITE 105-4800 DUFFERIN STREET  
 DOWNSVIEW ONTARIO  
 (416) 661-1463  
 Fax: (416) 661-1248



**SECTION TO ILLUSTRATE THE VERTICAL RELATIONSHIP OF LEVELS (Not To Scale)**

LEVEL	DESCRIPTION
LEVEL 32	
LEVEL 31	
LEVEL 30	
LEVEL 29	
LEVEL 28	
LEVEL 27	
LEVEL 26	
LEVEL 25	
LEVEL 24	
LEVEL 23	
LEVEL 22	
LEVEL 21	
LEVEL 20	
LEVEL 19	
LEVEL 18	
LEVEL 17	
LEVEL 16	
LEVEL 15	
LEVEL 14	
LEVEL 13	
LEVEL 12	
LEVEL 11	
LEVEL 10	
LEVEL 9	
LEVEL 8	
LEVEL 7	
LEVEL 6	
LEVEL 5	
LEVEL 4	
LEVEL 3	
LEVEL 2	
LEVEL 1	
LEVEL A	
LEVEL B	

**PLAN VIEW OF CONFIGURATION OF PARTS (PLAN 43R-28884) AT GRADE (Approximate Elevation 154.00m)**  
 CAD FILE: P0236C1



**METRIC :** DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

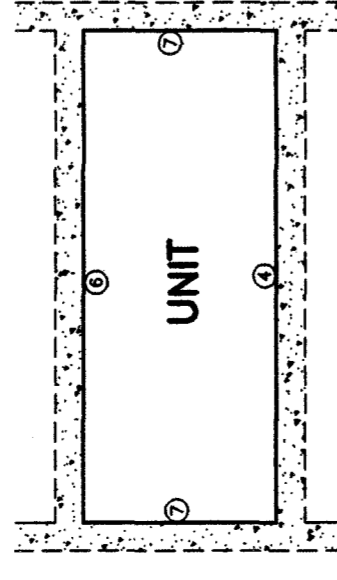
**PLAN OF SURVEY  
SHOWING DETAILS OF  
UNITS 1 TO 181 INCLUSIVE, LEVEL 1**

SCALE : 1:200  
0m 5m 10m 15 metres

**P. HOFMANN . O.L.S.  
2004.**

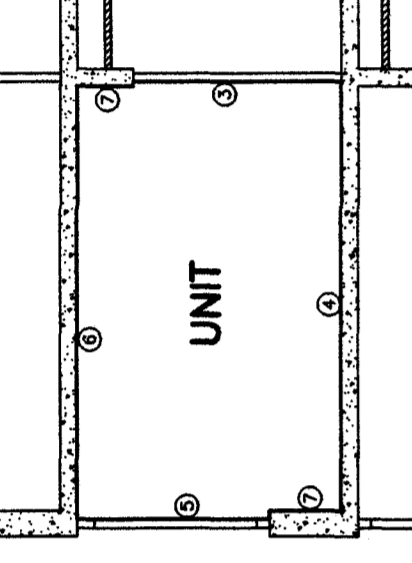
**FOR ENLARGEMENT OF UNITS 129 TO 181  
SEE SHEET 28 OF 28 SHEETS**

**SECTION TO ILLUSTRATE  
UNIT BOUNDARIES  
TYPICAL OF  
UNITS 1 TO 8 INCLUSIVE  
(NOT TO SCALE)**

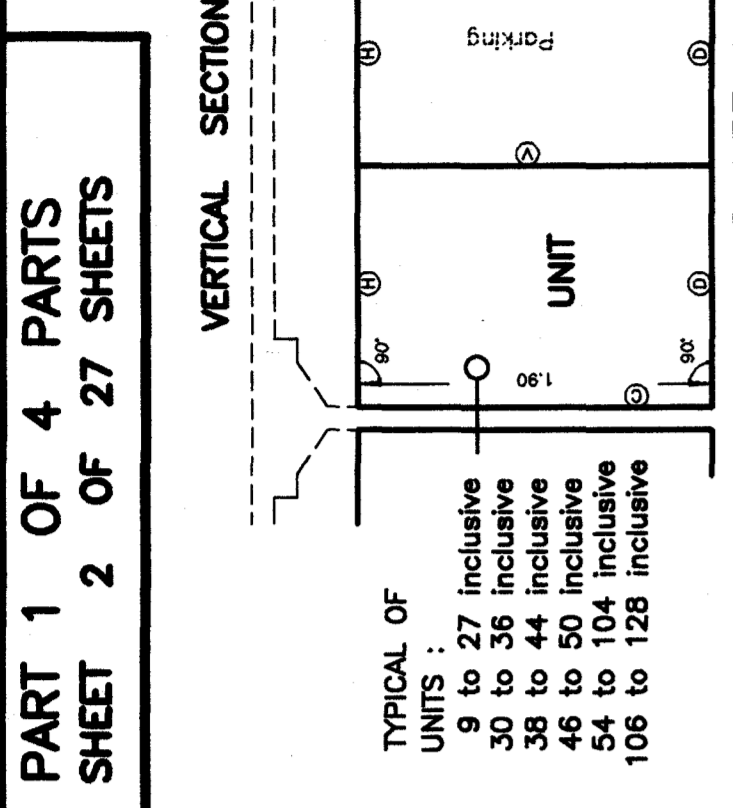


- NOTES**
- ① DENOTES LINE OF FACE OF CONCRETE COLUMNS OR WALLS
  - ② DENOTES VERTICAL PLANE JOINING CENTRE LINE OF CONCRETE COLUMNS AND ITS PRODUCTION
  - ③ DENOTES LINE AND FACE OF CONCRETE, CONCRETE BLOCK WALL OR COLUMN
  - ④ DENOTES UNFINISHED UPPER SURFACE OF CONCRETE FLOOR SLAB
  - ⑤ DENOTES UNFINISHED LOWER SURFACE OF CONCRETE CEILING SLAB
  - ⑥ DENOTES VERTICAL PLANE ESTABLISHED BY THE CENTRE LINE OF COLUMN AND MEASUREMENT
  - ⑦ DENOTES HORIZONTAL PLANE CONTROLLED BY MEASUREMENTS
  - ⑧ DENOTES UNIT SIDE FACE OF WIRE MESH PANELS
  - ⑨ DENOTES VERTICAL PLANE CONTROLLED BY MEASUREMENTS
  - ⑩ DENOTES UNFINISHED INTERIOR SURFACE OF DOOR AND DOOR FRAME
  - ⑪ DENOTES UPPER SURFACE OF CONCRETE FLOOR SLAB
  - ⑫ DENOTES UNFINISHED INTERIOR SURFACE OF WINDOW FRAME AND
  - ⑬ DENOTES INTERIOR SURFACE OF ALL GLASS PANELS LOCATED THEREIN
  - ⑭ DENOTES LOWER SURFACE OF CONCRETE CEILING
  - ⑮ DENOTES BACKSIDE FACE OF THE DRYWALL
  - ⑯ DENOTES UNIT 171
  - DENOTES BOUNDARY OF UNIT
  - DENOTES A TYPICAL DESIGNATION OF THE COMMON ELEMENT
  - DENOTES PART OF THE COMMON ELEMENTS

**UNIT BOUNDARY DEFINITION**  
THE MONUMENTS CONTROLLING THE EXTENT AND LOCATION OF THE UNITS ARE THE WALLS, FLOORS AND CEILINGS AS MORE PARTICULARLY DESCRIBED IN THE DECLARATION (SEE SCHEDULE "C")



**SECTION TO ILLUSTRATE  
UNIT BOUNDARIES  
IN THE VICINITY OF  
THE DOORS AND WINDOWS  
TYPICAL OF  
UNITS 1 TO 8 INCLUSIVE  
(NOT TO SCALE)**



**SECTION TO ILLUSTRATE UNIT  
BOUNDARIES  
(NOT TO SCALE)**

TYPICAL OF  
UNITS :  
9 to 27 inclusive  
30 to 36 inclusive  
38 to 44 inclusive  
46 to 50 inclusive  
54 to 104 inclusive  
106 to 128 inclusive

TYPICAL OF  
UNITS : 28, 29, 37, 45,  
51, 52, 53  
and 105

Note: Locker portion for the above said units is shown horizontally by the line and face of concrete, concrete block wall or column unless otherwise noted.

**SURVEYOR'S CERTIFICATE**

I CERTIFY THAT THE DIAGRAMS OF THE UNITS SHOWN ON THIS PLAN ARE SUBSTANTIALLY ACCURATE.  
DATED THIS 2nd DAY OF April, 2004.

*P. Hofmann*  
P. HOFMANN  
Ontario Land Surveyor

**CERTIFICATE OF DECLARANT**

THIS IS TO CERTIFY THAT THE PROPERTY INCLUDED IN THIS PLAN HAS BEEN LAID OUT INTO UNITS AND COMMON ELEMENTS IN ACCORDANCE WITH OUR INSTRUCTIONS  
**OWNER:**  
OVATION AT CITY CENTRE INC.  
DATED THIS 2nd DAY OF April, 2004.

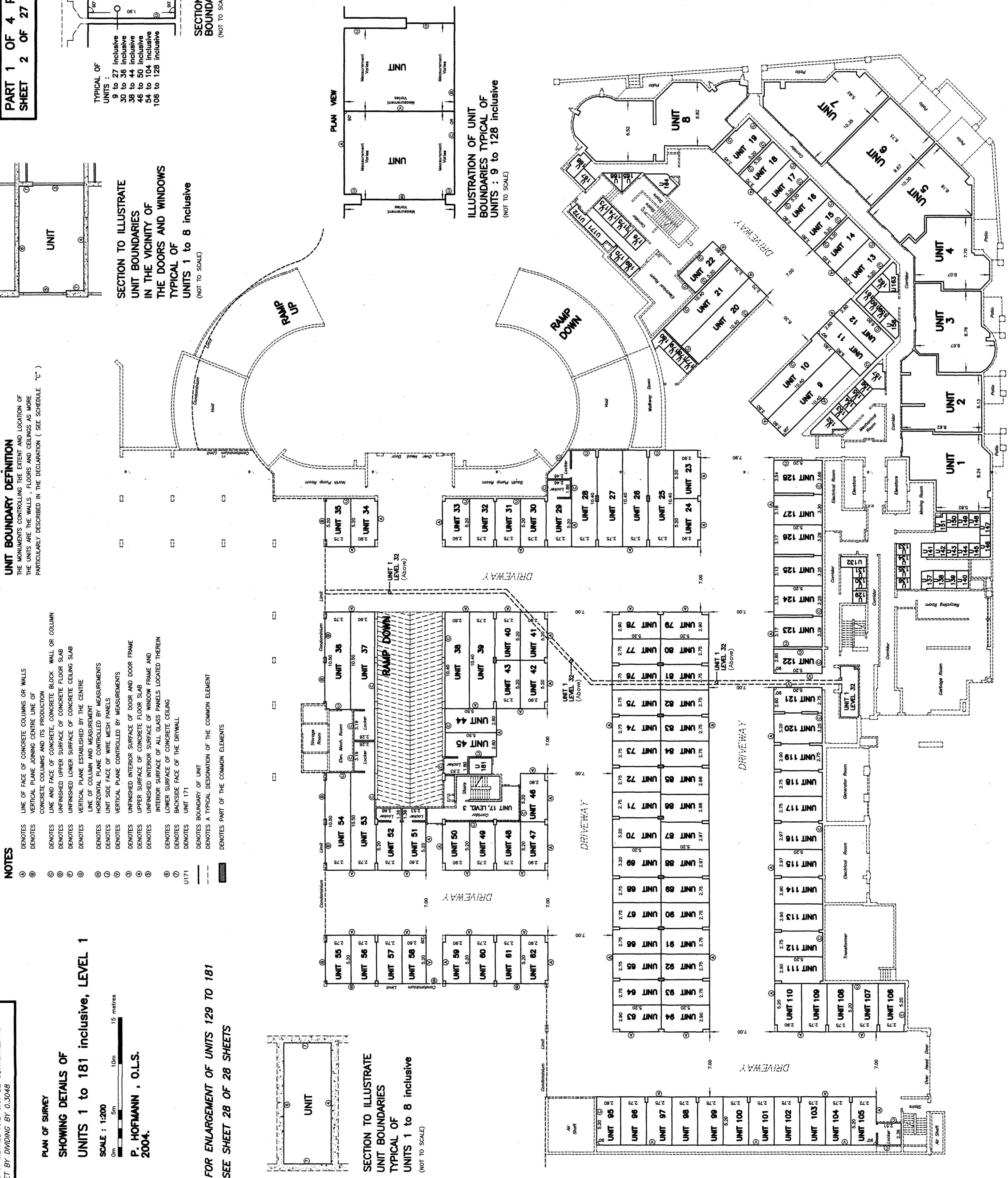
*Tom Moro*  
TOM MORO  
Authorized Signing Officer  
I Have The Authority To Bind The Corporation

*Geoffrey Grayhurst*  
GEOFFREY GRAYHURST  
Authorized Signing Officer  
I Have The Authority To Bind The Corporation

**SECTION TO ILLUSTRATE THE  
VERTICAL  
RELATIONSHIP  
OF LEVELS  
(Not To Scale)**

LEVEL 32	32.1
LEVEL 31	31.0
LEVEL 30	30.0
LEVEL 29	29.0
LEVEL 28	28.0
LEVEL 27	27.0
LEVEL 26	26.0
LEVEL 25	25.0
LEVEL 9	9.0
LEVEL 8	8.0
LEVEL 7	7.0
LEVEL 6	6.0
LEVEL 5	5.0
LEVEL 4	4.0
LEVEL 3	3.0
LEVEL 2	2.0
LEVEL 1	1.0
LEVEL A	0.0
LEVEL B	-1.0
LEVEL C	-2.0

**I.M. PASTUSHAK LIMITED**  
ONTARIO LAND SURVEYORS  
SUITE 105-4800 DUFFERIN STREET  
DOWNSVIEW ONTARIO  
(416) 661-1463  
Fax : (416) 661-1249



**METRIC :** DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**PLAN OF SURVEY SHOWING THE BOUNDARIES OF THE CONDOMINIUM LANDS AND THE APPURTENANT AND SERMENT INTERESTS**

SCALE 1:350  
0m 5m 10m 20 metres

P. HOFMANN, O.L.S.  
2004.

**PLAN VIEW OF CONFIGURATION OF PARTS (PLAN 43R-28984) AT LEVEL 2 (APPROXIMATE ELEVATION 158.00m)**

**PEEL STANDARD CONDOMINIUM PLAN No. 712**  
**PART 1 OF 4 PARTS**  
**SHEET 3 OF 28 SHEETS**

**SURVEYOR'S CERTIFICATE**

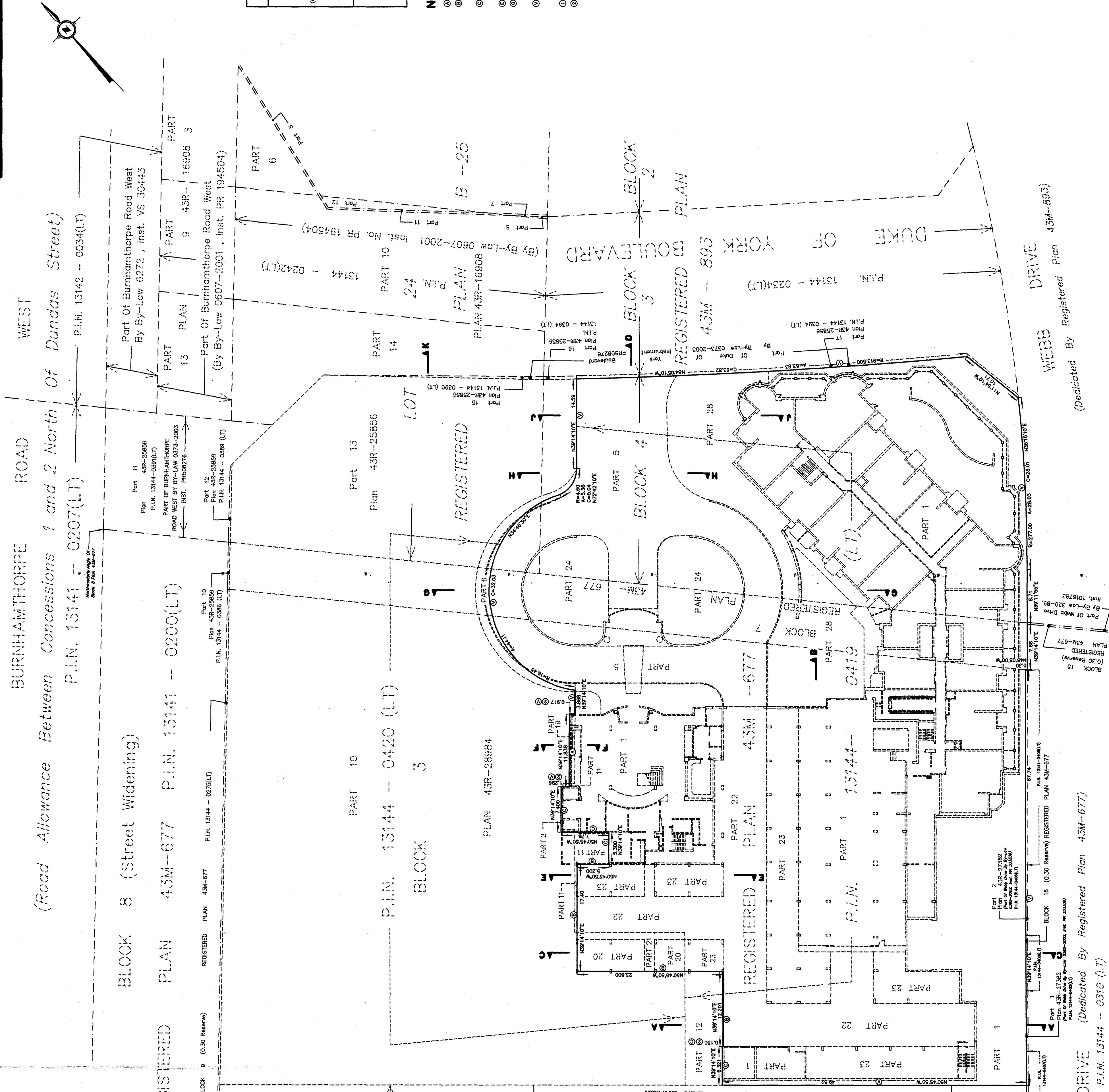
- I CERTIFY THAT :
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE CONDOMINIUM ACT 1998, THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
  - THIS SURVEY WAS COMPLETED ON THE 12th DAY OF March, 2004.
  - THE DIAGRAMS OF THE UNITS SHOWN ON THIS PLAN ARE SUBSTANTIALLY ACCURATE.
- DATED THIS 2nd DAY OF April, 2004.

P. Hofmann  
Ontario Land Surveyor

PART	PLAN	DESCRIBED IN	NOTES
6, 11, 14, 15, 17 and 18	43R-28984	Declarations	
10 and 20		LT 1258376	
2, 3, 4, 5, 6, 13, 14, 15, 16, 17, 23 and 24	43R-18530	LT 1258379	
2, 5, 6, 8, 12, 13, 14, 15, 16, 19, 22, 23 and 24		LT 1258383	
5, 7, 8, 9, 13, 15, 20, 21, 22, 23, 24, 26, 27 and 28	43R-28984	This Plan	Declaration
Concrete Elements On Levels 1, 2, A and B			
26	43R-28984	Inst. PR 194504	

**NOTES**

- DENOTES LINE OF FACE OF CONCRETE COLUMNS OR WALLS
- DENOTES VERTICAL PLANE JOINING CENTRE LINE OF CONCRETE COLUMNS AND ITS PRODUCTION
- DENOTES LINE AND FACE OF CONCRETE, CONCRETE BLOCK WALL OR COLUMN
- DENOTES FACE OF CONCRETE COLUMN AND ITS PRODUCTION
- DENOTES VERTICAL PLANE ESTABLISHED BY THE CENTRE LINE OF COLUMN AND MEASUREMENT
- DENOTES VERTICAL PLANE CONTROLLED BY MEASUREMENTS
- DENOTES N39°14'10"E
- DENOTES N50°45'50"W



WEBB DRIVE  
P.I.N. 13144 -- 0310 (L.T.)  
(Dedicated By Registered Plan 43M-677)

WEBB DRIVE  
P.I.N. 13144 -- 0334 (L.T.)  
(Dedicated By Registered Plan 43M-893)

**I.M. PASTUSHAK LIMITED**  
ONTARIO LAND SURVEYORS  
SUITE 105-4800 DUFFERIN STREET  
DOWNSVIEW ONTARIO  
(416) 661-1463  
Fax: (416) 661-1249

REF: P02-38C  
D00 FILE: P0238C16



METRIC : DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

PLAN OF SURVEY SHOWING THE BOUNDARIES OF THE CONDOMINIUM LANDS AND THE APPURTENANT AND SERVIENT INTERESTS

SCALE 1:350  
0m 5m 10m 20 metres

P.HOFMANN, O.L.S. 2004.

PLAN VIEW OF CONFIGURATION OF PARTS (PLAN 43R-28984) AT LEVEL 3 (APPROXIMATE ELEVATION 162.00m)

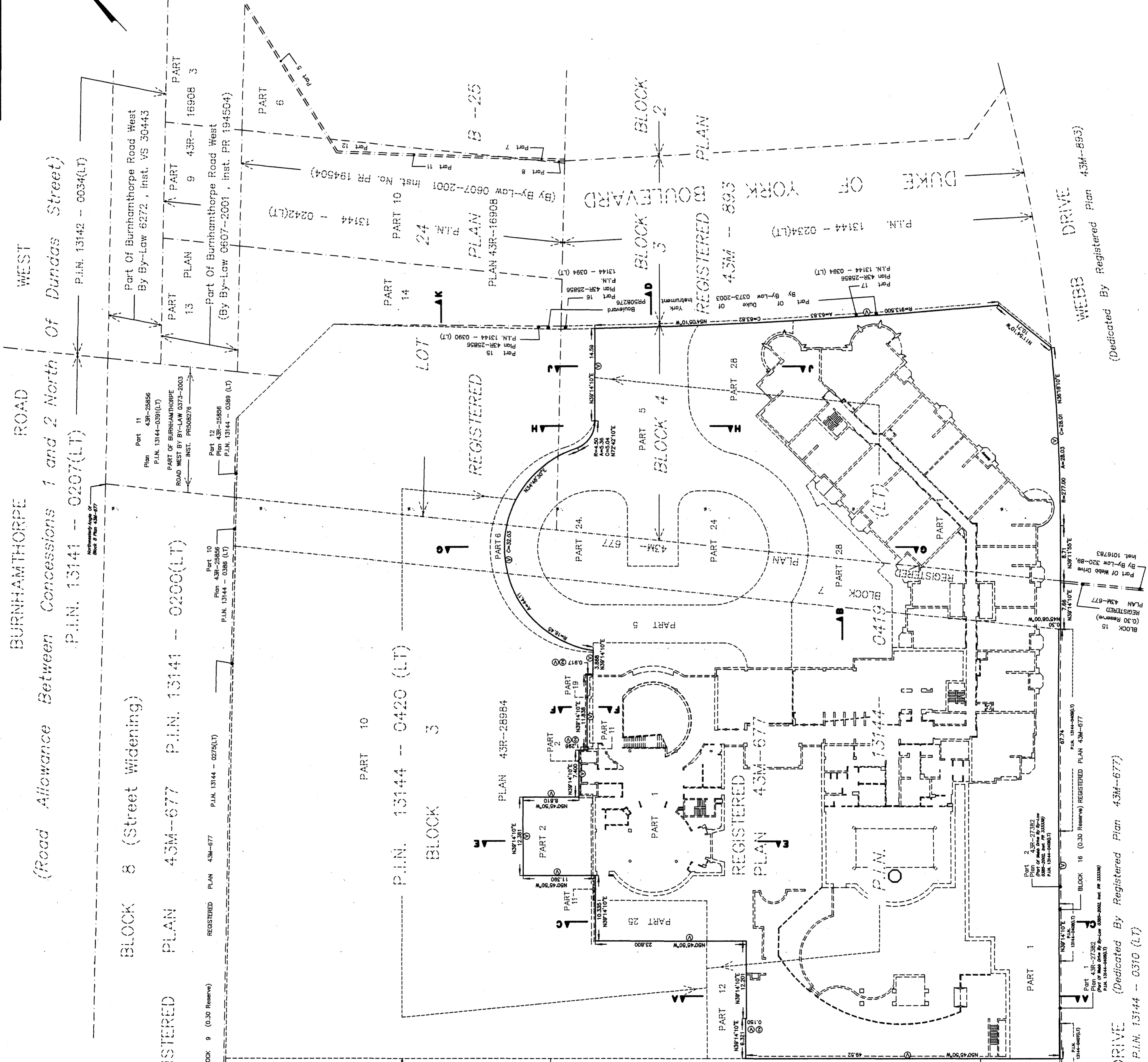
PEEL STANDARD CONDOMINIUM PLAN No. 712

PART 1 OF 4 PARTS SHEET 4 OF 28 SHEETS

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:  
1) THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE CONDOMINIUM ACT 1998, THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.  
2) THIS SURVEY WAS COMPLETED ON THE 12th DAY OF March, 2004.  
3) THE DIAGRAMS OF THE UNITS SHOWN ON THIS PLAN ARE SUBSTANTIALLY ACCURATE.  
DATED THIS 2nd DAY OF April, 2004.

P. HOFMANN  
Ontario Land Surveyor



PLAN	DESCRIBED IN	NOTES
43R-28984	Declaration	
LT 1298376		
43R-18530	LT 1298379	
LT 1298383		
43R-28984	This Plan	
43R-28984	Declaration	
43R-28984	Inst. PR27839	

NOTES

- ① DENOTES LINE OF FACE OF CONCRETE COLUMNS OR WALLS
- ② DENOTES VERTICAL PLANE JOINING CENTRE LINE OF CONCRETE COLUMNS AND ITS PRODUCTION
- ③ DENOTES LINE AND FACE OF CONCRETE, CONCRETE BLOCK, WALL OR COLUMN
- ④ DENOTES FACE OF CONCRETE COLUMN AND ITS PRODUCTION
- ⑤ DENOTES VERTICAL PLANE ESTABLISHED BY THE CENTRE LINE OF COLUMN AND MEASUREMENT
- ⑥ DENOTES VERTICAL PLANE CONTROLLED BY MEASUREMENTS
- ⑦ DENOTES N39°14'10"E
- ⑧ DENOTES N59°45'50"W

I.M. PASTUSHAK LIMITED  
ONTARIO LAND SURVEYORS  
SUITE 105-4800 DUFFERIN STREET  
DOWNSVIEW, ONTARIO  
(416) 861-1463  
Fax: (416) 861-1249

**METRIC :** DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**PLAN OF SURVEY SHOWING THE BOUNDARIES OF THE CONDOMINIUM LANDS AND THE APPURTENANT AND SERVIENT INTERESTS**

SCALE 1:350  
0m 5m 10m 20 metres

P. HOFMANN, O.L.S.  
2004.

**PLAN VIEW OF CONFIGURATION OF PARTS (PLAN 43R-28984) AT LEVEL 4 AND ABOVE (APPROXIMATE ELEVATION 166.00m)**

**PEEL STANDARD CONDOMINIUM PLAN No. 712**  
**PART 1 OF 4 PARTS**  
**SHEET 5 OF 28 SHEETS**

**SURVEYOR'S CERTIFICATE**

I CERTIFY THAT :

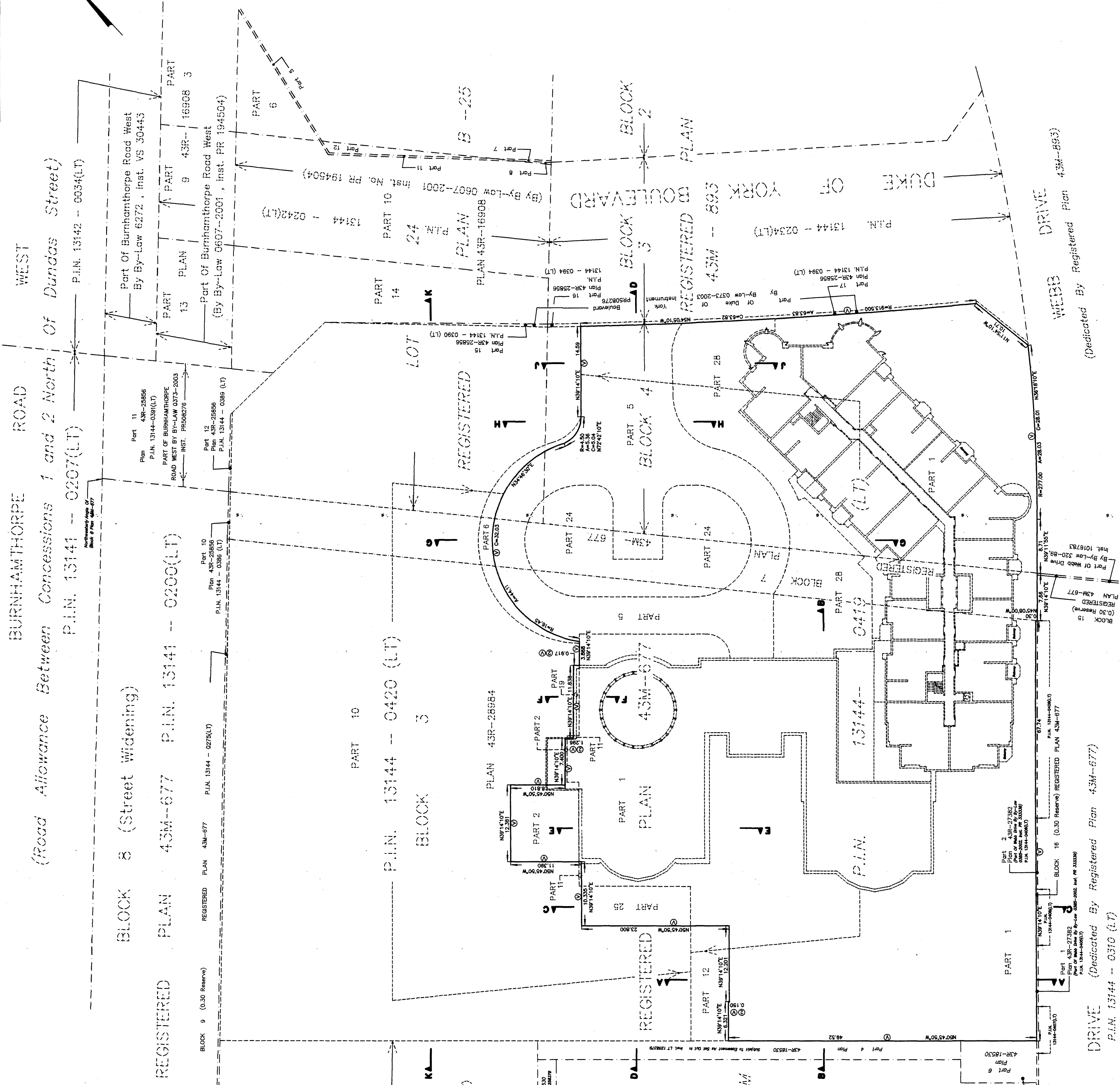
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE CONDOMINIUM ACT 1998, THE SURVEYORS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THIS SURVEY WAS COMPLETED ON THE 12th DAY OF March, 2004.
- THE DIAGRAMS OF THE UNITS SHOWN ON THIS PLAN ARE SUBSTANTIALLY ACCURATE. DATED THIS 2nd DAY OF April, 2004.

P. Hofmann  
P. HOFMANN  
Ontario Land Surveyor

**SCHEDULE OF APPURTENANT AND SERVIENT INTEREST**  
(PURSUANT TO SECTION 8(1)(a) AND (b) OF THE CONDOMINIUM ACT, 1998.)

TOGETHER WITH (APPURTENANT INTERESTS)	PART	PLAN	DESCRIBED IN	NOTES
	6, 11, 14, 15, 17 and 18	43R-28984	Description	
	10 and 20		LT 1250376	
	2, 3, 4, 5, 6, 13, 14, 15, 16, 17, 23 and 24	43R-18530	LT 1250379	
	2, 5, 6, 8, 12, 13, 14, 15, 16, 19, 22, 23 and 24		LT 1250383	
	5, 7, 8, 9, 13, 16, 20, 21, 22, 23, 24, 26, 27 and 28	43R-28984		
	Common Elements On Levels 1, 2, A and B	The Plan	Description	
SUBJECT TO (SERVIENT INTERESTS)	28	43R-28984	Inst. PR027839	

- NOTES**
- ① DENOTES LINE OF FACE OF CONCRETE COLUMNS OR WALLS
  - ② DENOTES VERTICAL PLANE JOINING CENTRE LINE OF CONCRETE COLUMNS AND ITS PRODUCTION LINE AND FACE OF CONCRETE, CONCRETE BLOCK WALL OR COLUMN
  - ③ DENOTES FACE OF CONCRETE COLUMN AND ITS PRODUCTION VERTICAL PLANE ESTABLISHED BY THE CENTRE LINE OF COLUMN AND MEASUREMENT
  - ④ DENOTES VERTICAL PLANE CONTROLLED BY MEASUREMENTS
  - ⑤ DENOTES N39°14'10"E
  - ⑥ DENOTES N50°45'50"W



**I.M. PASTUSHAK LIMITED**  
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(416) 661-1463  
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**METRIC :** DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**PLAN OF SURVEY SHOWING THE BOUNDARIES OF THE CONDOMINIUM LANDS AND THE APPURTENANT AND SERVIENT INTERESTS**

SCALE 1:350  
0m 5m 10m 20 metres

P. HOFMANN, O.L.S.  
2004.

**PLAN VIEW OF CONFIGURATION OF PARTS (PLAN 43R-28984) AT LEVEL A (First Level Underground Garage) (APPROXIMATE ELEVATION 152.00m)**

**PEEL STANDARD CONDOMINIUM PLAN No. 712.**  
**PART 1 OF 4 PARTS**  
**SHEET 6 OF 28 SHEETS**

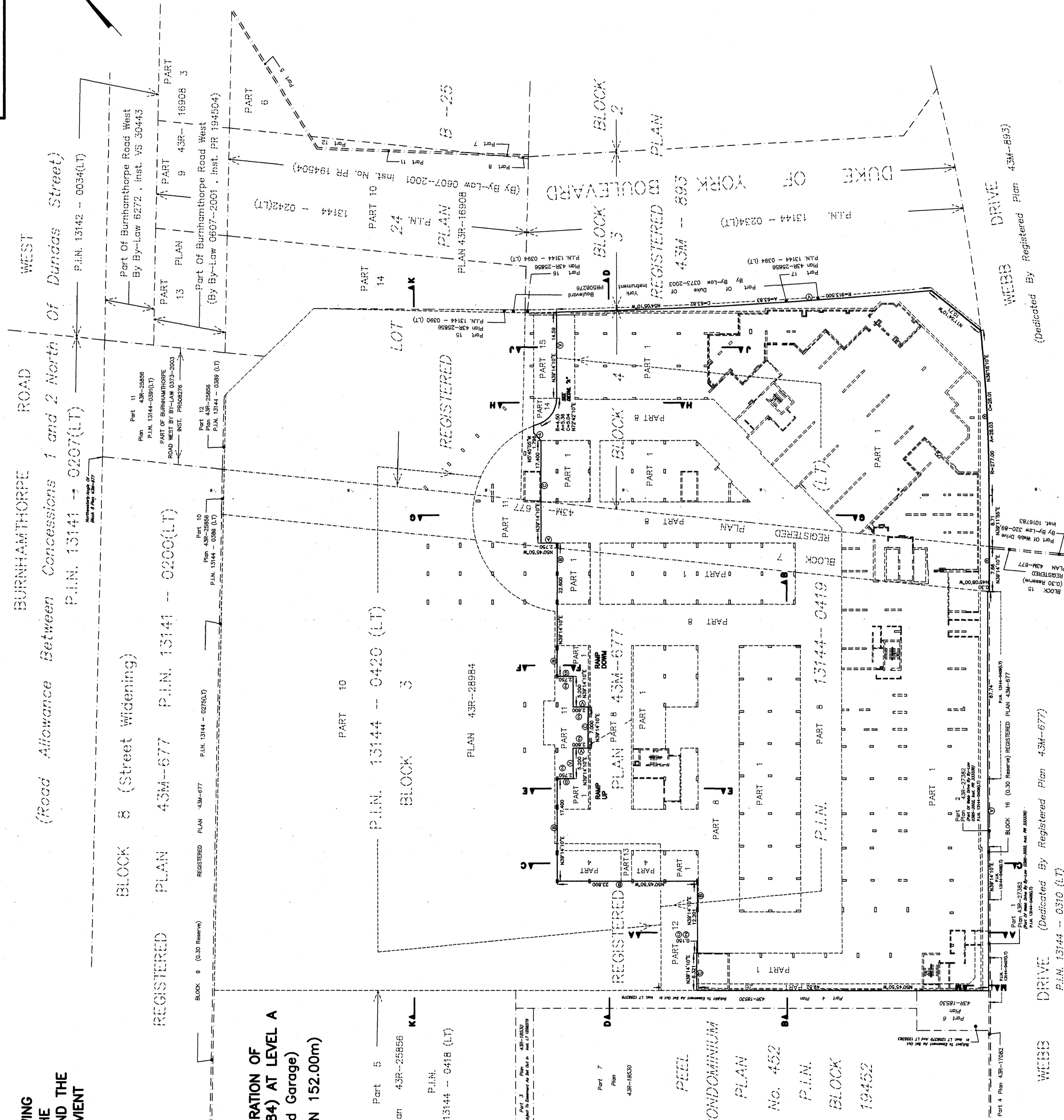
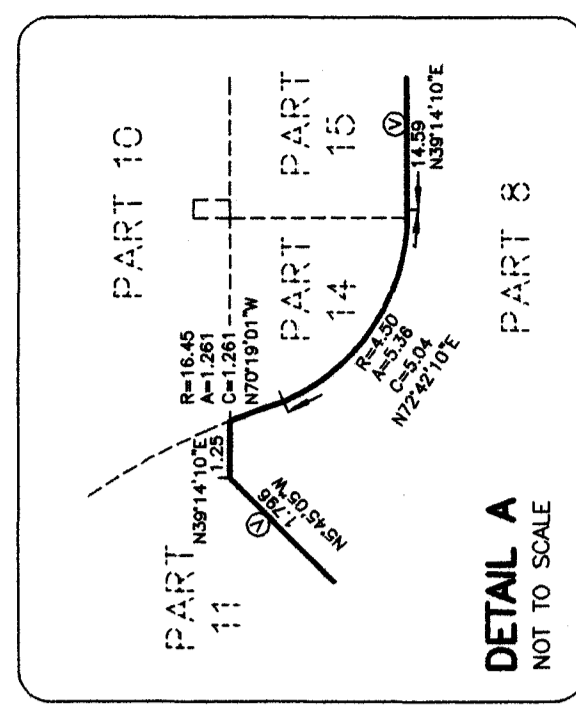
**SURVEYOR'S CERTIFICATE**

I CERTIFY THAT :  
1) THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE CONDOMINIUM ACT 1998, THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.  
2) THIS SURVEY WAS COMPLETED ON THE 12th DAY OF March, 2004.  
3) THE DIAGRAMS OF THE UNITS SHOWN ON THIS PLAN ARE SUBSTANTIALLY ACCURATE.  
DATED THIS 2nd DAY OF April, 2004.

P. HOFMANN  
Ontario Land Surveyor

SCHEDULE OF APPURTENANT AND SERVIENT INTEREST (PURSUANT TO SECTION 8(1)(a) AND (b) OF THE CONDOMINIUM ACT, 1998.)	
TOGETHER WITH (APPURTENANT INTERESTS)	NOTES
Part 11, 14, 15, 17 and 18	43R-28984 Declaration
2, 3, 4, 5, 6, 13, 14, 15, 16, 17, 23 and 24	LT 1258278
2, 5, 6, 8, 12, 13, 14, 15, 16, 19, 22, 23 and 24	43R-18530 LT 1258579
5, 7, 8, 9, 13, 16, 20, 21, 22, 23, 24, 26, 27 and 28	LT 1258383
Common Elements On Levels 1, 2, A and B	43R-28984 The Plan Declaration
28	43R-28984 Inst. PR627839

- NOTES**
- ① DENOTES LINE OF FACE OF CONCRETE COLUMNS OR WALLS
  - ② DENOTES VERTICAL PLANE JOINING CENTRE LINE OF CONCRETE COLUMNS AND ITS PRODUCTION
  - ③ DENOTES LINE AND FACE OF CONCRETE, CONCRETE BLOCK WALL OR COLUMN
  - ④ DENOTES FACE OF CONCRETE COLUMN AND ITS PRODUCTION
  - ⑤ DENOTES VERTICAL PLANE ESTABLISHED BY THE CENTRE LINE OF COLUMN AND MEASUREMENT
  - ⑥ DENOTES VERTICAL PLANE CONTROLLED BY MEASUREMENTS
  - ⑦ DENOTES N39°14'10"E
  - ⑧ DENOTES S50°45'50"W



**I.M. PASTUSHAK LIMITED**  
ONTARIO LAND SURVEYORS  
105-1800 DUFFERIN STREET  
DOWNSVIEW ONTARIO  
(416) 661-1463  
Fax : (416) 661-1249

REF : P02-38C  
CAD FILE : P0238C19

**METRIC :** DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**PLAN OF SURVEY SHOWING THE BOUNDARIES OF THE CONDOMINIUM LANDS AND THE APPURTENANT AND SERVIENT INTERESTS**

SCALE 1:350  
0m 5m 10m 20 metres

P. HOFMANN, O.L.S.  
2004.

**PLAN VIEW OF CONFIGURATION OF PARTS (PLAN 43R-28984) AT LEVEL B (Second Level Underground Garage) (APPROXIMATE ELEVATION 148.00m)**

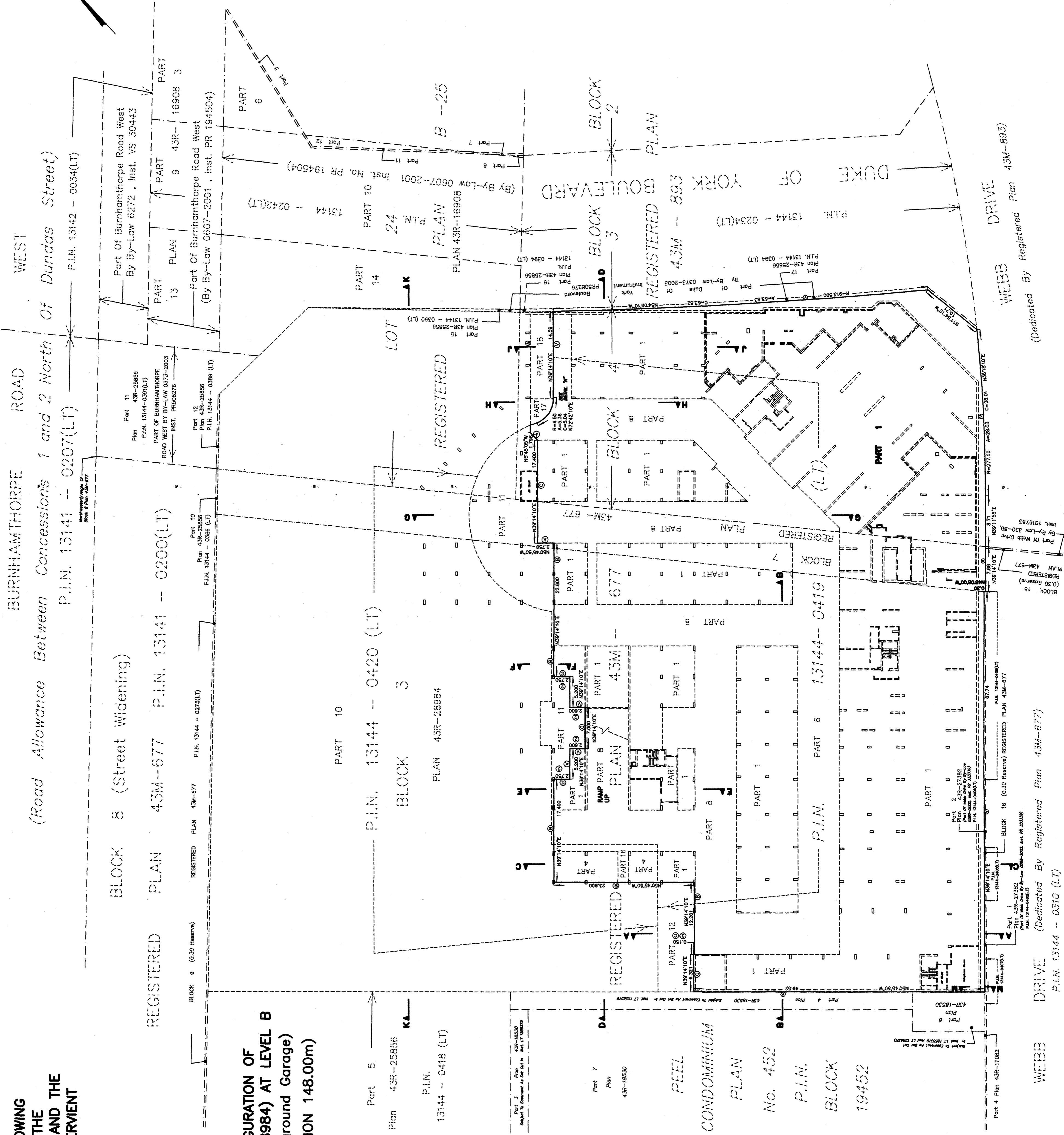
**PEEL STANDARD CONDOMINIUM PLAN No. 712**

**PART 1 OF 4 PARTS SHEET 7 OF 28 SHEETS**

**SURVEYOR'S CERTIFICATE**

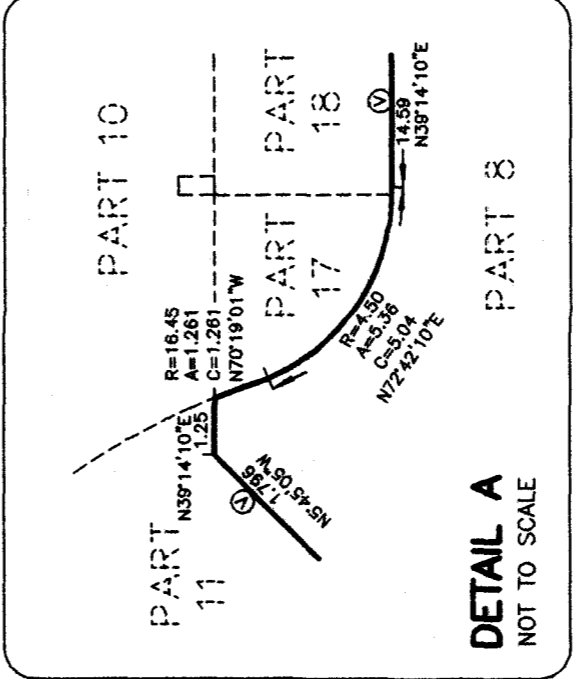
I CERTIFY THAT :  
1) THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE CONDOMINIUM ACT 1998, THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.  
2) THIS SURVEY WAS COMPLETED ON THE 12th DAY OF March, 2004.  
3) THE DIAGRAMS OF THE UNITS SHOWN ON THIS PLAN ARE SUBSTANTIALLY ACCURATE.  
DATED THIS 2nd DAY OF April, 2004.

P. HOFMANN  
Ontario Land Surveyor



TOGETHER WITH (APURTENANT INTERESTS)	PART	DESCRIBED IN	NOTES
	6, 11, 14, 15, 17 and 18	43R-28984 Declaration	
	10 and 20	LT 1298376	
	3, 4, 5, 6, 13, 14, 15, 16, 17, 23 and 24	43R-18530 LT 1298379	
	2, 7, 8, 9, 11, 12, 13, 14, 15, 16, 19, 21, 22, 23 and 24	LT 1298383	
	22, 23, 24, 26, 27 and 28	43R-28984	
SUBJECT TO (SERVIENT INTERESTS)	Common Elements on Levels 1, 2, 3 and 9	The Plan Declaration	
	28	43R-28984 Inst. PR627939	

- NOTES**
- ① LINE OF FACE OF CONCRETE COLUMNS OR WALLS
  - ② VERTICAL PLANE JOINING CENTRE LINE OF CONCRETE COLUMNS AND ITS PRODUCTION
  - ③ LINE AND FACE OF CONCRETE, CONCRETE BLOCK WALL OR COLUMN
  - ④ FACE OF CONCRETE COLUMN AND ITS PRODUCTION
  - ⑤ VERTICAL PLANE ESTABLISHED BY THE CENTRE LINE OF COLUMN AND MEASUREMENT
  - ⑥ VERTICAL PLANE CONTROLLED BY MEASUREMENTS
  - ⑦ N291°14'10"E
  - ⑧ NS27°45'50"W





**METRIC :** DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**PLAN OF SURVEY SHOWING THE BOUNDARIES OF THE CONDOMINIUM LANDS AND THE APPURTENANT AND SERVENT INTERESTS**

SCALE 1:350  
0m 5m 10m 20 metres

P. HOFMANN, O.L.S.  
2004.

**PLAN VIEW OF CONFIGURATION OF PARTS (PLAN 43R-28984) BELOW LEVEL B (Below Second Level Underground Garage) (APPROXIMATE ELEVATION 145.00m)**

**PEEL STANDARD CONDOMINIUM PLAN No. 712  
PART 1 OF 4 PARTS  
SHEET 8 OF 28 SHEETS**

**SURVEYOR'S CERTIFICATE**

I CERTIFY THAT :  
1) THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE CONDOMINIUM ACT 1998, THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.  
2) THIS SURVEY WAS COMPLETED ON THE 12th DAY OF March, 2004.  
3) THE DIAGRAMS OF THE UNITS SHOWN ON THIS PLAN ARE SUBSTANTIALLY ACCURATE.  
DATED THIS 2nd DAY OF April, 2004.

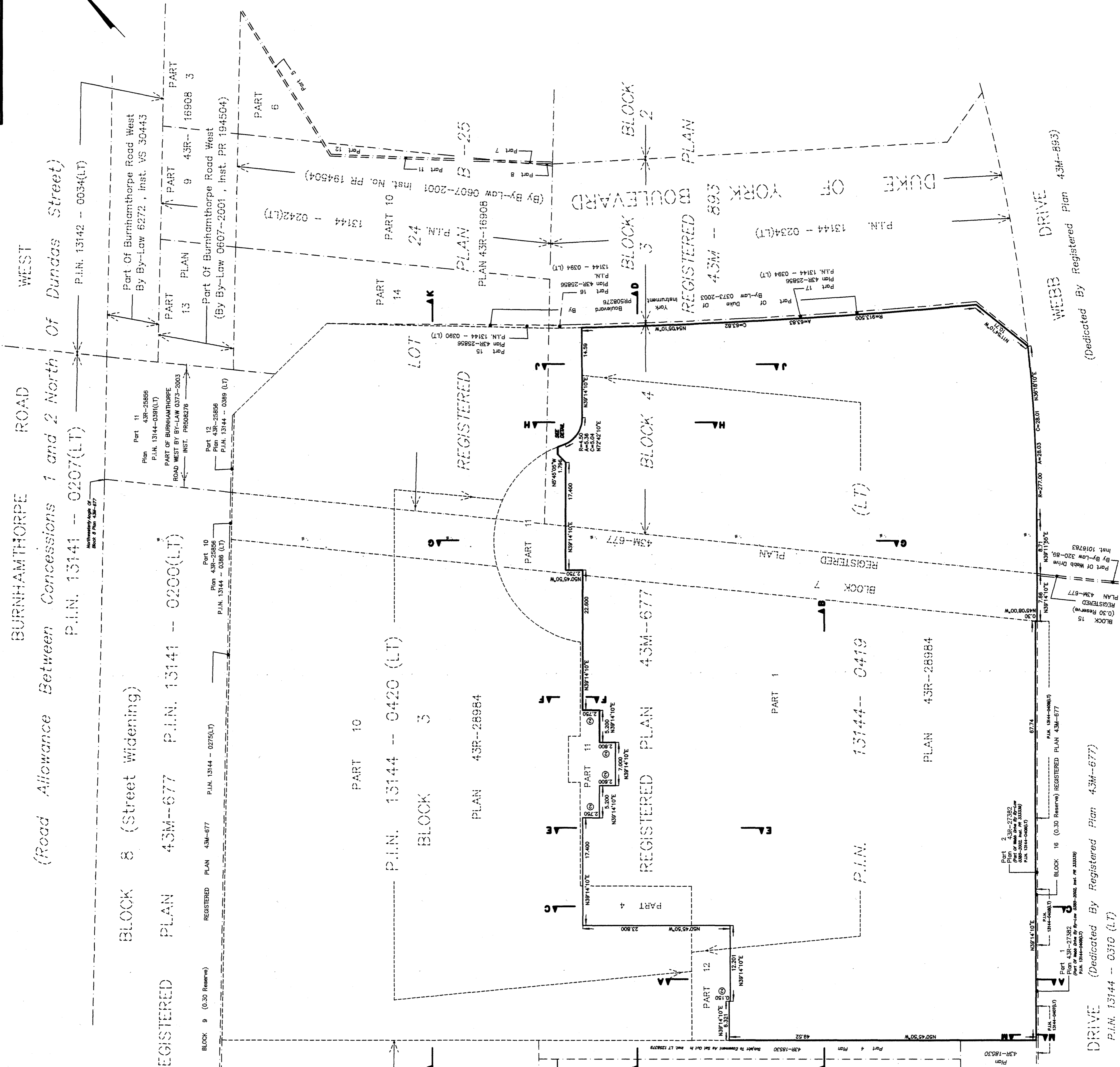
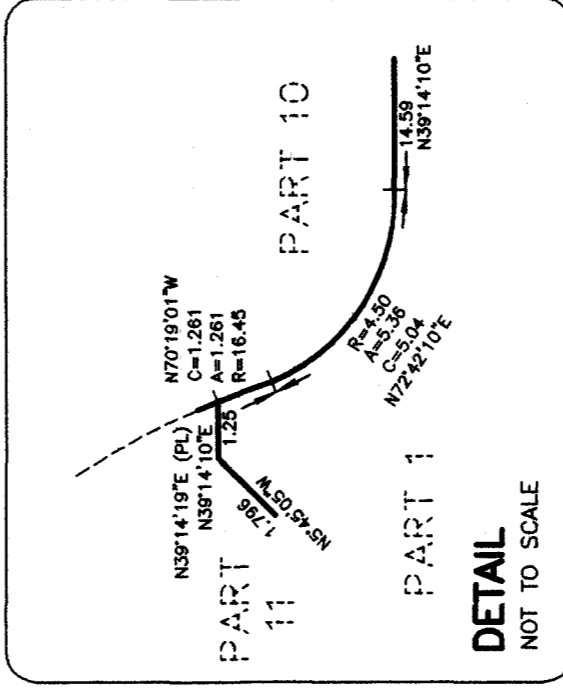
*P. Hofmann*  
P. HOFMANN  
Ontario Land Surveyor

SCHEDULE OF APPURTENANT AND SERVENT INTEREST (PURSUANT TO SECTION 8(1)(a) AND (b) OF THE CONDOMINIUM ACT, 1998)			
PART	PLAN	DESCRIBED IN	NOTES
TOGETHER WITH (APPURTENANT INTERESTS)	6, 11, 14, 15, 17 and 18	43R-28984	Declaration
	10 and 20	LT 1298376	
SUBJECT TO (SERVENT INTERESTS)	2, 3, 4, 5, 6, 13, 14, 15, 16, 17, 23 and 24	43R-18530	LT 1298379
	2, 5, 6, 9, 12, 13, 14, 15, 16, 19, 22, 23 and 24		LT 1298383
	5, 7, 8, 9, 13, 15, 20, 21, 22, 23, 24, 26, 27 and 28	43R-28984	The Plan
	Common Elements On Levels 1, 2, A and B		Declaration
	28	43R-28984	Inst. PR627839

**NOTES**

PART LIMITS ARE DEFINED AS A VERTICAL PLANE CONTROLLED BY MEASUREMENTS UNLESS OTHERWISE NOTED

⊙ DENOTES NS0°45'30"W  
PL DENOTES 43R-28984





**METRIC :** DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**PLAN OF SURVEY SHOWING THE BOUNDARIES OF THE CONDOMINIUM LANDS AND THE APPURTENANT AND SERVIENT INTERESTS NOT TO SCALE**  
**P. HOFMANN, O.L.S.**  
**2004.**

**PEEL STANDARD CONDOMINIUM PLAN No. 112**  
**PART 1 OF 4 PARTS**  
**SHEET 9 OF 28 SHEETS**

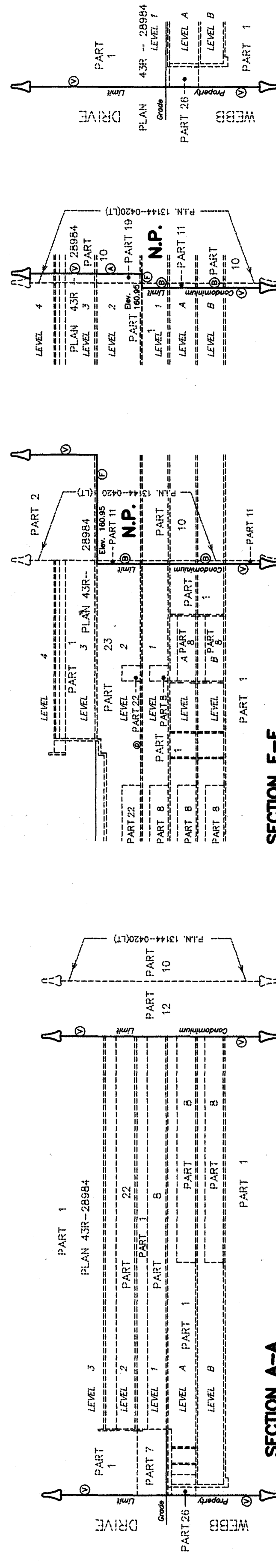
**SURVEYOR'S CERTIFICATE**

I CERTIFY THAT :

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE CONDOMINIUM ACT 1998, THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THIS SURVEY WAS COMPLETED ON THE \_\_\_\_\_ 12th DAY OF \_\_\_\_\_ March \_\_\_\_\_, 2004.
- THE DIAGRAMS OF THE UNITS SHOWN ON THIS PLAN ARE SUBSTANTIALLY ACCURATE. DATED THIS 2nd DAY OF April \_\_\_\_\_, 2004.

*P. Hofmann*  
**P. HOFMANN**  
 Ontario Land Surveyor

**SECTIONS SHOWING VERTICAL EXTENT OF PARTS 1 to 28 inclusive PLAN 43R-28984**

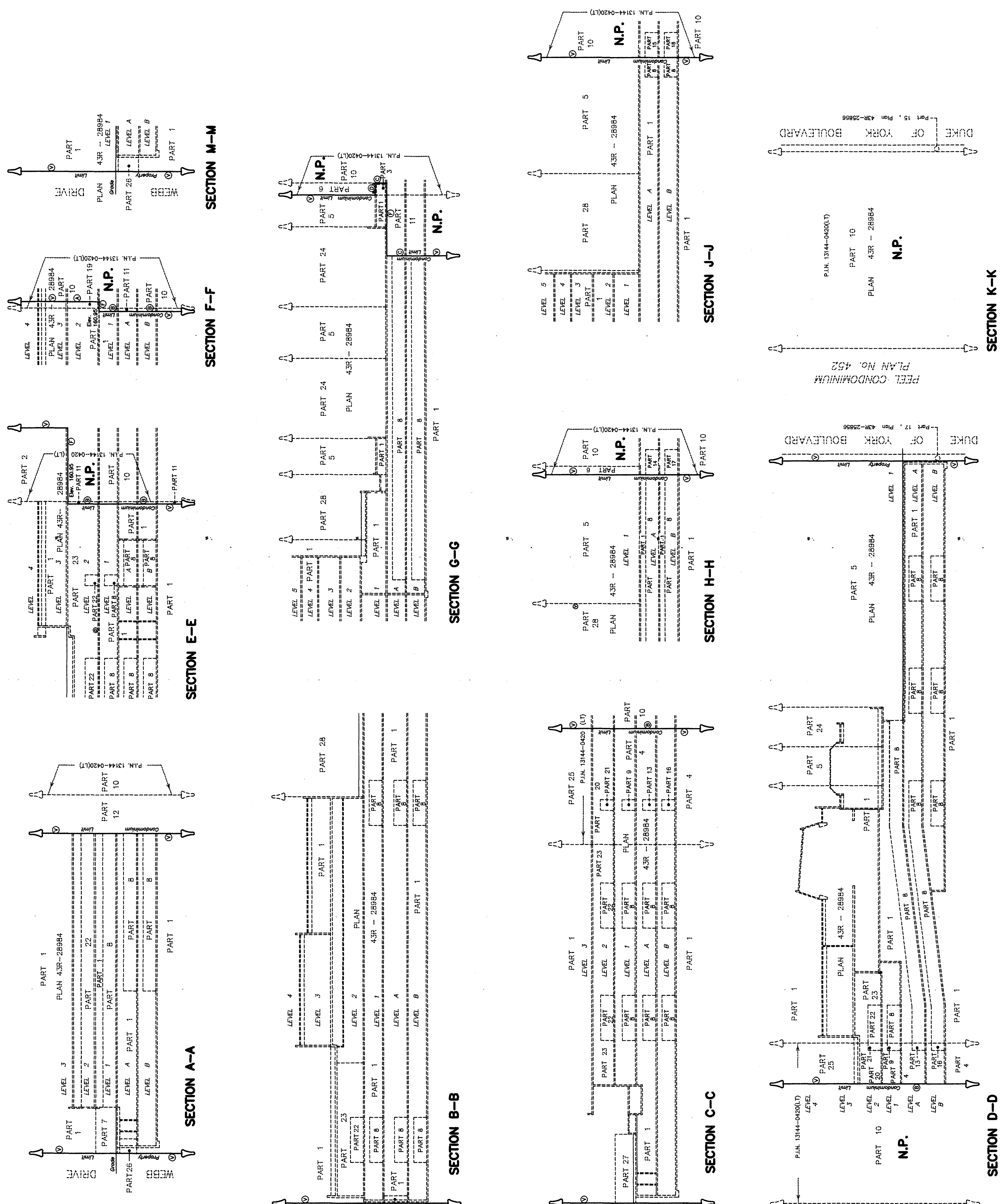


SCHEDULE OF APPURTENANT AND SERVIENT INTEREST (PURSUANT TO SECTION 6(1)(a) AND (b) OF THE CONDOMINIUM ACT 1998.)	
TOGETHER WITH (APPURTENANT INTERESTS)	DESCRIBED IN NOTES
6, 11, 14, 15, 17 and 18	43R-28984 Declaration
10 and 20	LT 1258279
2, 3, 4, 5, 6, 13, 14, 15, 16, 17, 23 and 24	43R-16530 LT 1258279
2, 3, 4, 5, 6, 13, 14, 15, 16, 17, 23 and 24	43R-16530 LT 1258283
5, 7, 8, 9, 13, 15, 20, 21, 22, 23, 24, 25, 27 and 28	43R-28984 The Plan Declaration
Common Elements On Levels 1, 2, A and B	43R-28984 Int. REG 7839
28	

**BENCH MARK**  
 ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE REFERRED TO THE CITY OF MISSISSAUGA BENCH MARK No 883 HAVING AN ELEVATION OF 153.984m

- NOTES**
- Ⓐ DENOTES LINE OF FACE OF CONCRETE COLUMNS OR WALLS
  - Ⓑ DENOTES VERTICAL PLANE JOINING CENTRE LINE OF CONCRETE COLUMNS AND ITS PRODUCTION
  - Ⓒ DENOTES LINE AND FACE OF CONCRETE, CONCRETE BLOCK WALL OR COLUMN
  - Ⓓ DENOTES UPPER SURFACE OF CONCRETE SLAB
  - Ⓔ DENOTES FACE OF CONCRETE COLUMN AND ITS PRODUCTION
  - Ⓕ DENOTES LOWER SURFACE OF CONCRETE SLAB
  - Ⓖ DENOTES VERTICAL PLANE ESTABLISHED BY THE CENTRE LINE OF COLUMN AND MEASUREMENT
  - Ⓗ DENOTES HORIZONTAL PLANE CONTROLLED BY MEASUREMENTS, AND MEASURED PERPENDICULAR FROM Ⓞ
  - Ⓚ DENOTES PRODUCTION OF Ⓞ
  - Ⓛ DENOTES PRODUCTION OF Ⓞ
  - Ⓜ DENOTES VERTICAL PLANE CONTROLLED BY MEASUREMENTS

PART 1 DENOTES PLAN 43R-28984  
 N.P. DENOTES NOT PART OF THIS PLAN



**METRIC :** DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

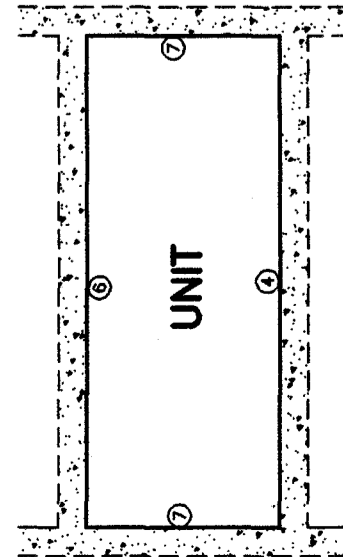
**PLAN OF SURVEY**

**SHOWING THE SPECIFICATIONS AND RELATIONSHIP BETWEEN THE BOUNDARIES OF UNITS AND THE MONUMENTATION ON LEVEL 2**

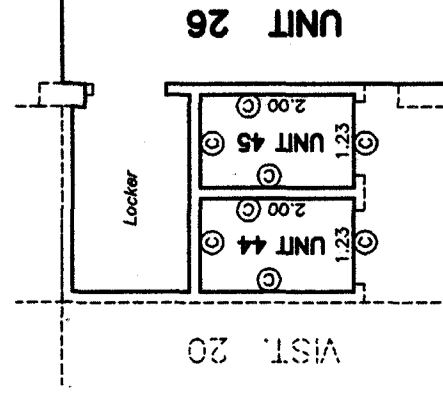
**SCALE : 1:200**

0m 5m 10m 15 metres

**P. HOFMANN, O.L.S.**  
2004.



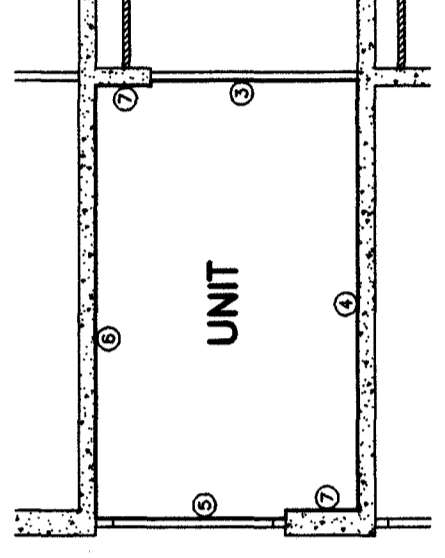
**SECTION TO ILLUSTRATE UNIT BOUNDARIES TYPICAL OF UNITS 1 TO 15 inclusive**  
(NOT TO SCALE)



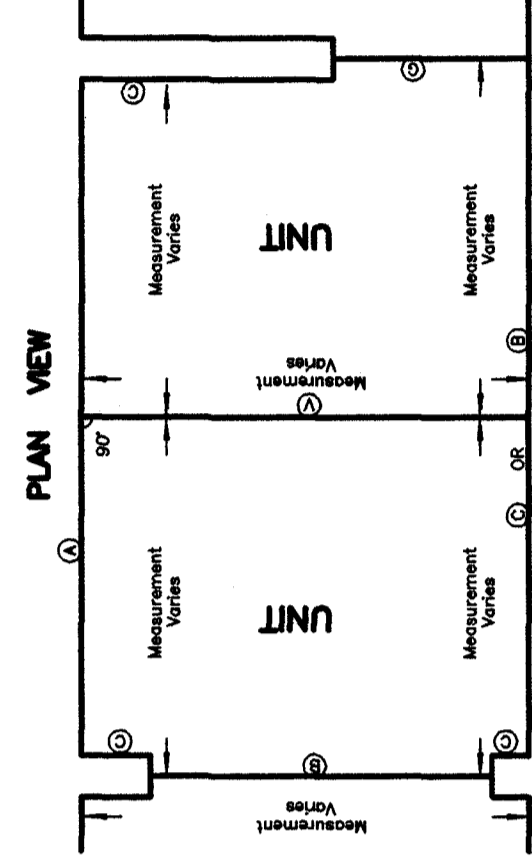
**ENLARGEMENT OF UNITS 44 and 45**  
(NOT TO SCALE)

**NOTES**

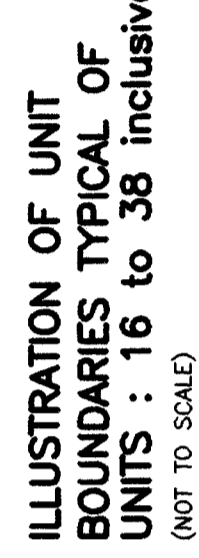
- ⊙ DENOTES LINE OF FACE OF CONCRETE COLUMNS OR WALLS
- ⊙ DENOTES VERTICAL PLANE JOINING CENTRE LINE OF CONCRETE COLUMNS AND ITS PRODUCTION
- ⊙ DENOTES LINE AND FACE OF CONCRETE, CONCRETE BLOCK WALL OR COLUMN
- ⊙ DENOTES UNFINISHED UPPER SURFACE OF CONCRETE FLOOR SLAB
- ⊙ DENOTES UNFINISHED LOWER SURFACE OF CONCRETE CEILING SLAB
- ⊙ DENOTES VERTICAL PLANE ESTABLISHED BY THE CENTRE LINE OF COLUMN AND MEASUREMENT
- ⊙ DENOTES HORIZONTAL PLANE CONTROLLED BY MEASUREMENTS
- ⊙ DENOTES UNIT SIDE FACE OF WIRE MESH PANELS
- ⊙ DENOTES VERTICAL PLANE CONTROLLED BY MEASUREMENTS
- ⊙ DENOTES UNFINISHED INTERIOR SURFACE OF DOOR AND DOOR FRAME
- ⊙ DENOTES UPPER SURFACE OF CONCRETE FLOOR SLAB
- ⊙ DENOTES UNFINISHED INTERIOR SURFACE OF WINDOW FRAME AND INTERIOR SURFACE OF ALL GLASS PANELS LOCATED THEREIN
- ⊙ DENOTES LOWER SURFACE OF CONCRETE CEILING
- ⊙ DENOTES BACKSIDE FACE OF THE DRYWALL
- DENOTES BOUNDARY OF UNIT
- DENOTES A TYPICAL DESIGNATION OF THE COMMON ELEMENT
- DENOTES PART OF THE COMMON ELEMENTS
- DENOTES VISITOR PARKING



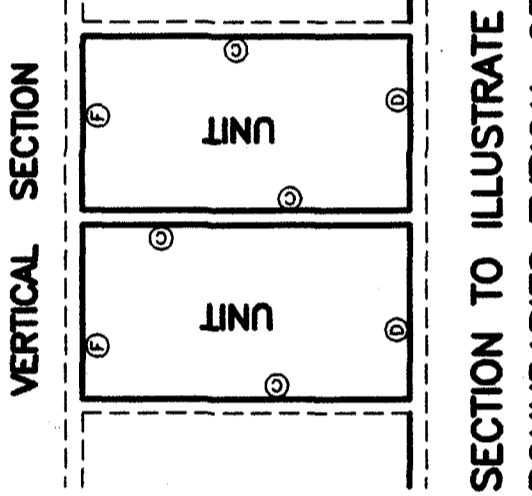
**SECTION TO ILLUSTRATE UNIT BOUNDARIES IN THE VICINITY OF THE DOORS AND WINDOWS TYPICAL OF UNITS 1 TO 15 inclusive**  
(NOT TO SCALE)



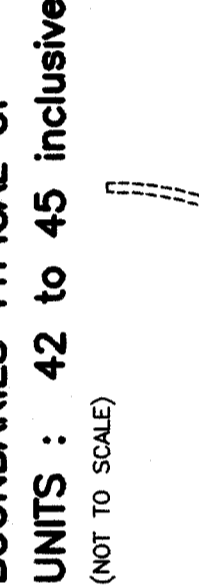
**PLAN VIEW**



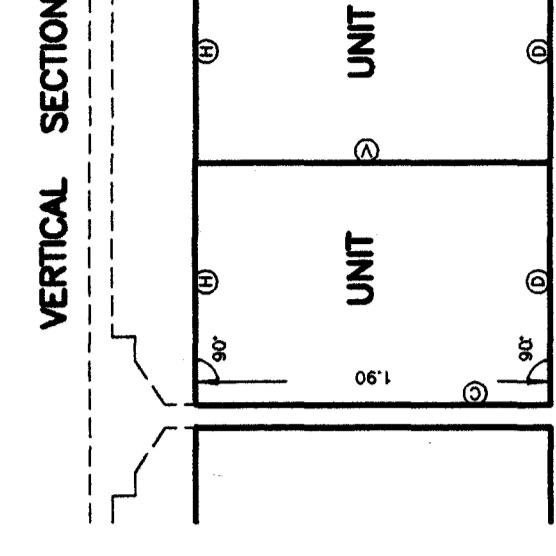
**ILLUSTRATION OF UNIT BOUNDARIES TYPICAL OF UNITS : 16 to 38 inclusive**  
(NOT TO SCALE)



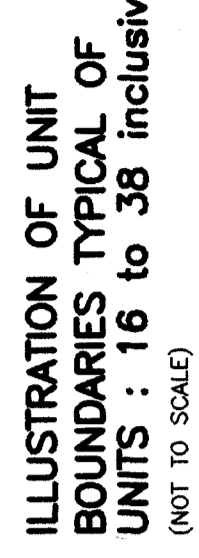
**VERTICAL SECTION**



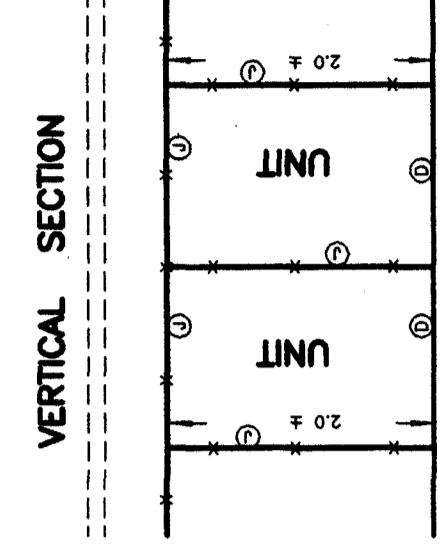
**SECTION TO ILLUSTRATE UNIT BOUNDARIES TYPICAL OF UNITS : 42 to 45 inclusive**  
(NOT TO SCALE)



**VERTICAL SECTION**

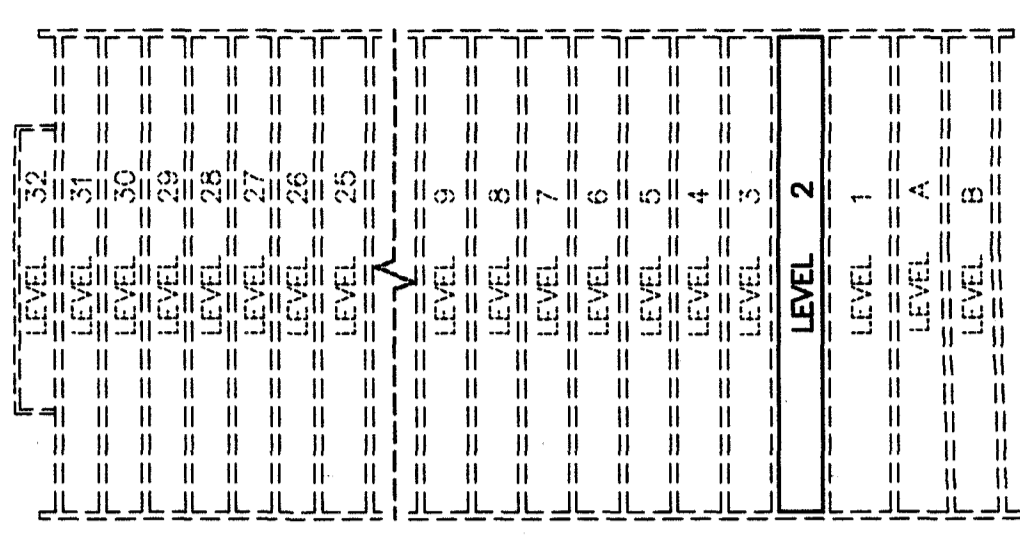


**ILLUSTRATION OF UNIT BOUNDARIES TYPICAL OF UNITS : 16 to 38 inclusive**  
(NOT TO SCALE)



**VERTICAL SECTION**

**SECTION TO ILLUSTRATE UNIT BOUNDARIES TYPICAL OF UNITS : 39 to 41 inclusive**  
(NOT TO SCALE)



**SECTION TO ILLUSTRATE THE VERTICAL RELATIONSHIP OF LEVELS**  
(Not To Scale)

**PEEL STANDARD CONDOMINIUM PLAN No. 712**  
**PART 1 OF 4 PARTS**  
**SHEET 10 OF 28 SHEETS**

**LEVEL 2**  
**UNITS 1 to 45, inclusive**

REGISTERED IN THE LAND REGISTRY OFFICE FOR THE LAND TITLES DIVISION OF PEEL (No.43) AT BRAMPTON AT 4:10 O'CLOCK ON THE 17th DAY OF June, 2004.

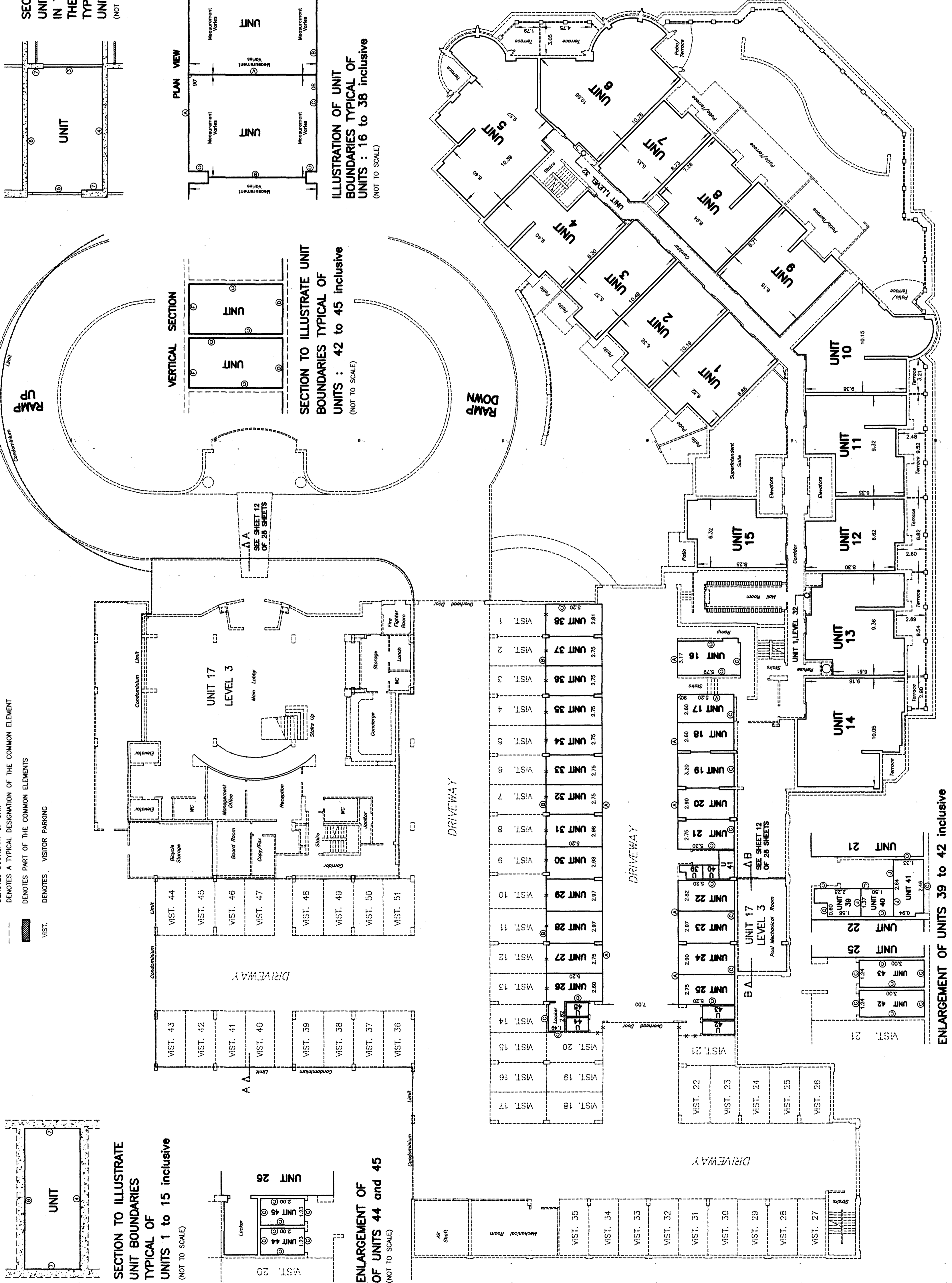
DATE  
ASST. DEPT. LAND REGISTRAR  
*Gregory Grayhurst*

**SURVEYOR'S CERTIFICATE**

- I CERTIFY THAT :
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE CONDOMINIUM ACT 1998, THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
  - THIS SURVEY WAS COMPLETED ON THE 12th DAY OF March, 2004.
  - THE DIAGRAMS OF THE UNITS SHOWN ON THIS PLAN ARE SUBSTANTIALLY ACCURATE. DATED THIS 2nd DAY OF April, 2004.

*P. Hofmann*  
P. HOFMANN  
Ontario Land Surveyor  
DECLARATION REGISTERED AS No. **PRO58414**

**I.M. PASTUSHAK LIMITED**  
ONTARIO LAND SURVEYORS  
SUITE 105-4800 DUFFERIN STREET  
DOWNSVIEW ONTARIO  
(416) 661-1463  
Fax : (416) 661-1249



**ENLARGEMENT OF UNITS 39 to 42 inclusive**  
(NOT TO SCALE)



**METRIC :** DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**PLAN OF SURVEY**

**SHOWING THE SPECIFICATIONS AND RELATIONSHIP BETWEEN THE BOUNDARIES OF UNITS AND THE MONUMENTATION ON LEVEL 3**

**SCALE :** 1:200



**P. HOFMANN, O.L.S.**  
2004.

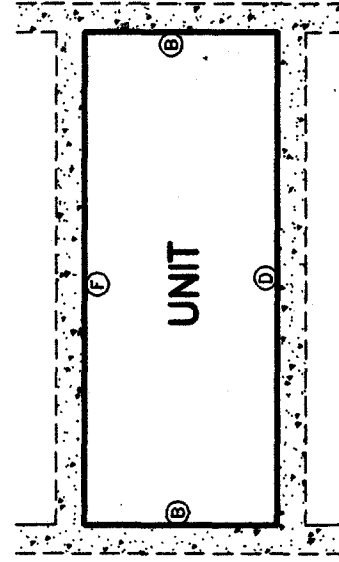
**FOR DETAILS OF UNIT 17, AT LEVELS 4, 2, 1, A and B AND SECTIONS A-A, B-B, SEE SHEET 12 OF 28 SHEETS**

**NOTES**

- ① UNFINISHED INTERIOR SURFACE OF DOOR AND DOOR FRAME
- ② BACKSIDE FACE OF DRYWALL
- ③ LINE AND FACE OF CONCRETE, CONCRETE BLOCK, WALL OR COLUMN
- ④ UNFINISHED UPPER SURFACE OF CONCRETE FLOOR SLAB
- ⑤ UNFINISHED LOWER SURFACE OF CONCRETE CEILING SLAB
- ⑥ UNFINISHED INTERIOR SURFACE OF WINDOW FRAME AND INTERIOR SURFACE OF ALL GLASS PANELS LOCATED THEREIN
- ⑦ HORIZONTAL PLANE CONTROLLED BY MEASUREMENTS
- ⑧ UNIT SIDE FACE OF WIRE MESH PANELS
- ⑨ VERTICAL PLANE CONTROLLED BY MEASUREMENTS
- DENOTES BOUNDARY OF UNIT
- - - DENOTES A TYPICAL DESIGNATION OF THE COMMON ELEMENT
- DENOTES LIMIT OF CONDOMINIUM

**UNIT BOUNDARY DEFINITION**

THE MONUMENTS CONTROLLING THE EXTENT AND LOCATION OF THE UNITS ARE THE WALLS, FLOORS AND CEILINGS AS MORE PARTICULARLY DESCRIBED IN THE DECLARATION (SEE SCHEDULE "C")



**CERTIFICATE OF DECLARANT**

THIS IS TO CERTIFY THAT THE PROPERTY INCLUDED IN THIS PLAN HAS BEEN LAD OUT INTO UNITS AND COMMON ELEMENTS IN ACCORDANCE WITH OUR INSTRUCTIONS

**OWNER:**  
MATION AT CITY CENTRE INC.

DATED THIS 2nd DAY OF April, 2004.

*[Signature]*  
T. MATION  
Authorized Signing Officer  
I Have The Authority To Bind The Corporation

*[Signature]*  
GEOFFREY GRAYHURST  
Authorized Signing Officer  
I Have The Authority To Bind The Corporation

**PEEL STANDARD CONDOMINIUM PLAN No. 712**

**PART 1 OF 4 PARTS  
SHEET 11 OF 28 SHEETS**

**LEVEL 3  
UNITS 1 to 17, inclusive**

REGISTERED IN THE LAND REGISTRY OFFICE FOR THE LAND TITLES DIVISION OF PEEL (No.43) AT BRAMPTON AT 4:16 O'CLOCK ON THE 17th DAY OF June, 2004.  
DATE

*[Signature]*  
ASST. DEPT. LAND REGISTRAR

**SURVEYOR'S CERTIFICATE**

I CERTIFY THAT :

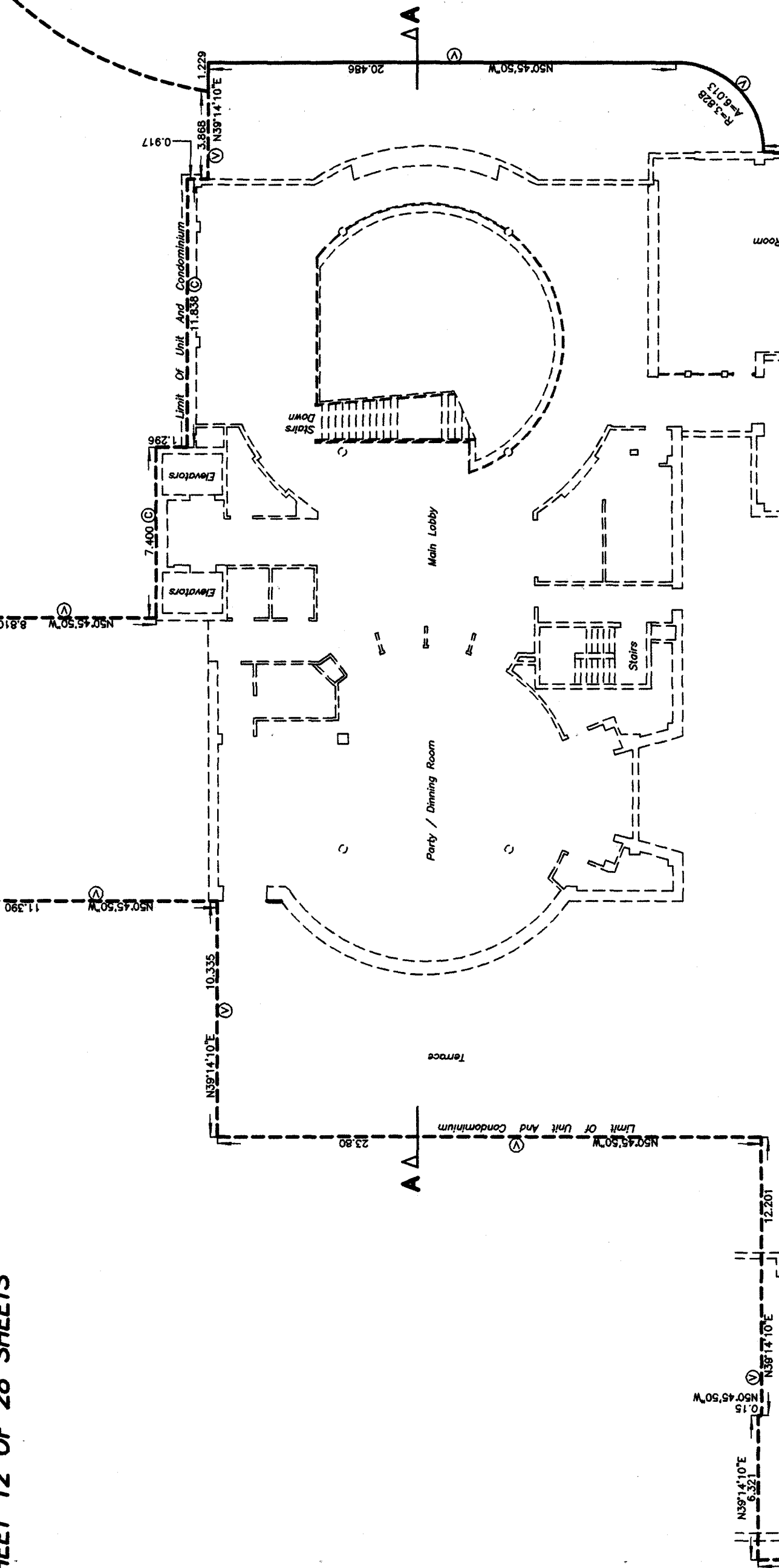
- 1) THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE CONDOMINIUM ACT 1998, THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- 2) THIS SURVEY WAS COMPLETED ON THE 12th DAY OF March, 2004.
- 3) THE DIAGRAMS OF THE UNITS SHOWN ON THIS PLAN ARE SUBSTANTIALLY ACCURATE.

DATED THIS 2nd DAY OF April, 2004.

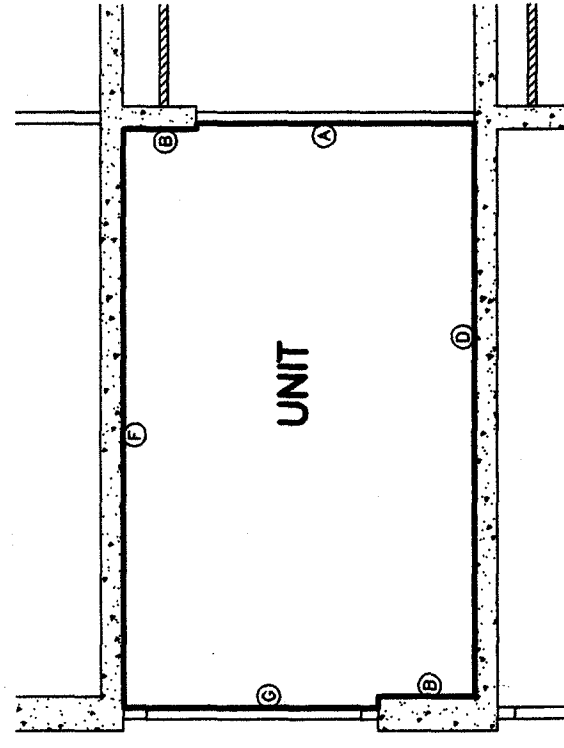
*[Signature]*  
P. HOFMANN  
Ontario Land Surveyor

DECLARATION REGISTERED AS No. **PR658414**

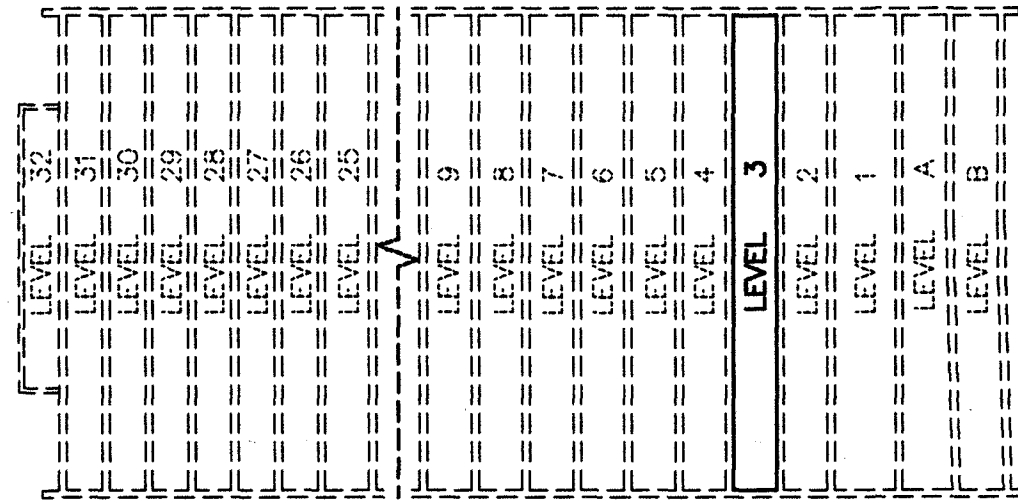
**SECTION TO ILLUSTRATE  
UNIT BOUNDARIES TYPICAL  
OF UNITS 1 to 16 inclusive  
(NOT TO SCALE)**



**SECTION TO ILLUSTRATE TYPICAL UNIT BOUNDARIES  
IN THE VICINITY OF THE DOORS AND WINDOWS  
TYPICAL OF UNITS 1 to 16 inclusive  
(NOT TO SCALE)**



**SECTION TO ILLUSTRATE THE  
VERTICAL  
RELATIONSHIP  
OF LEVELS  
(Not To Scale)**



**I.M. PASTUSHAK LIMITED**  
ONTARIO LAND SURVEYORS  
SUITE 105-680 DUFFERIN STREET  
DOWNSVIEW ONTARIO  
(416) 661-1463  
FAX : (416) 661-1249

**PEEL STANDARD CONDOMINIUM PLAN No. 712**  
**PART 1 OF 4 PARTS**  
**SHEET 12 OF 28 SHEETS**

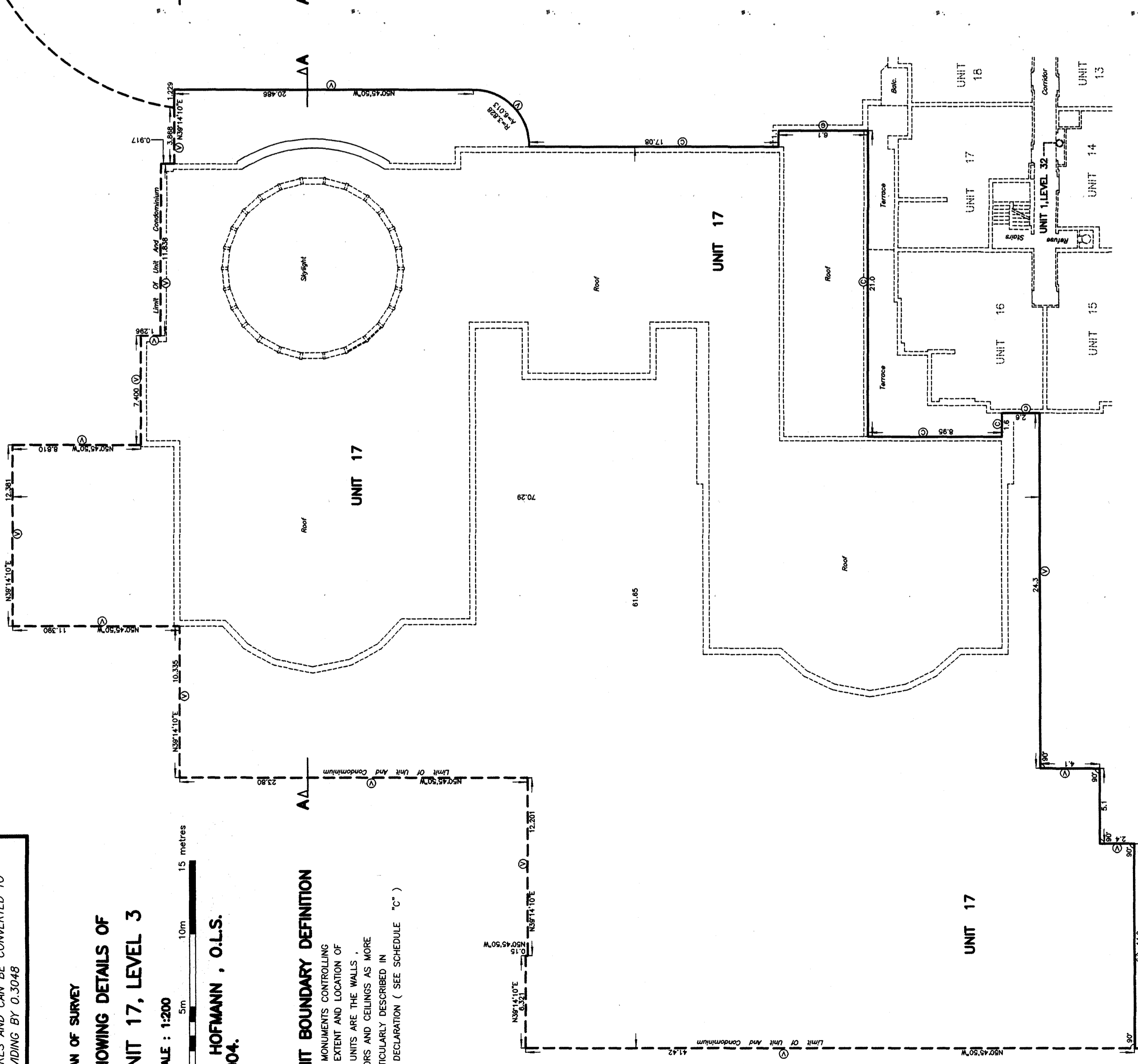
**METRIC :** DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**PLAN OF SURVEY**  
**SHOWING DETAILS OF**  
**UNIT 17, LEVEL 3**

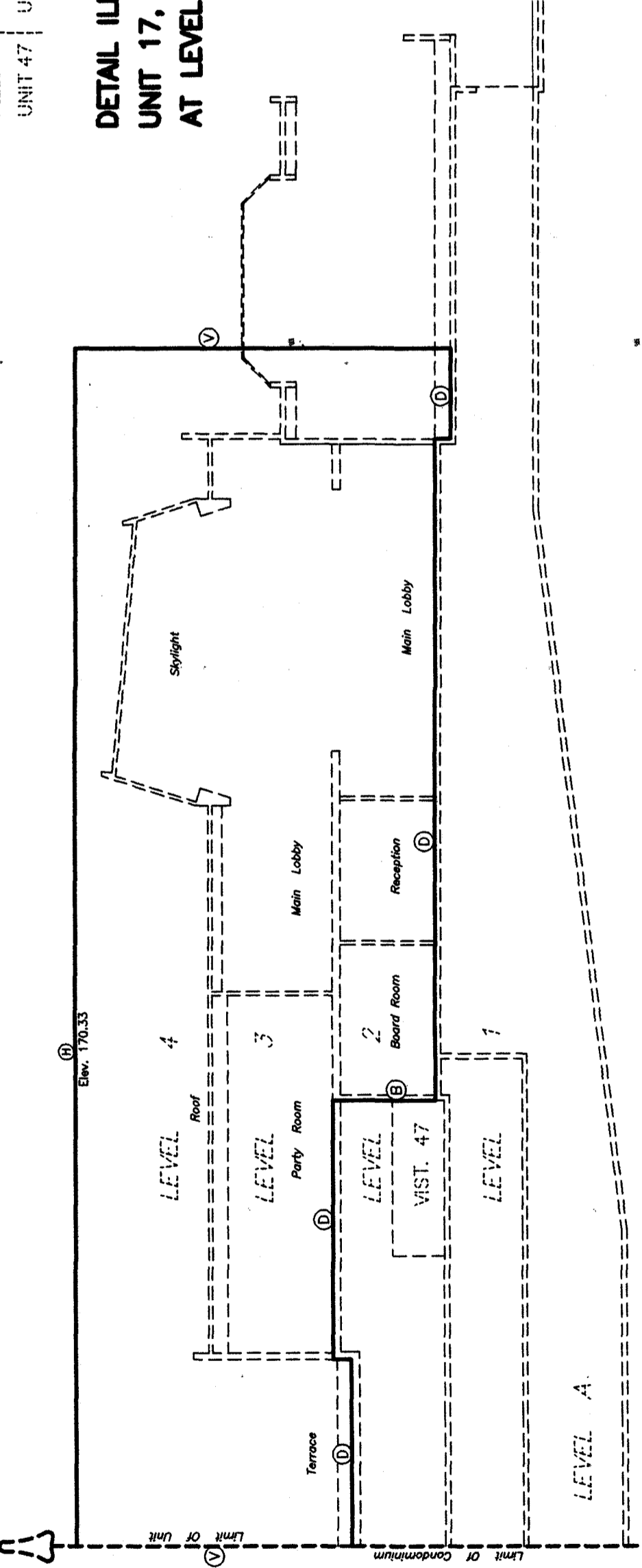
SCALE : 1:200  
 0m 5m 10m 15 metres

**P. HOFMANN, O.L.S.**  
**2004.**

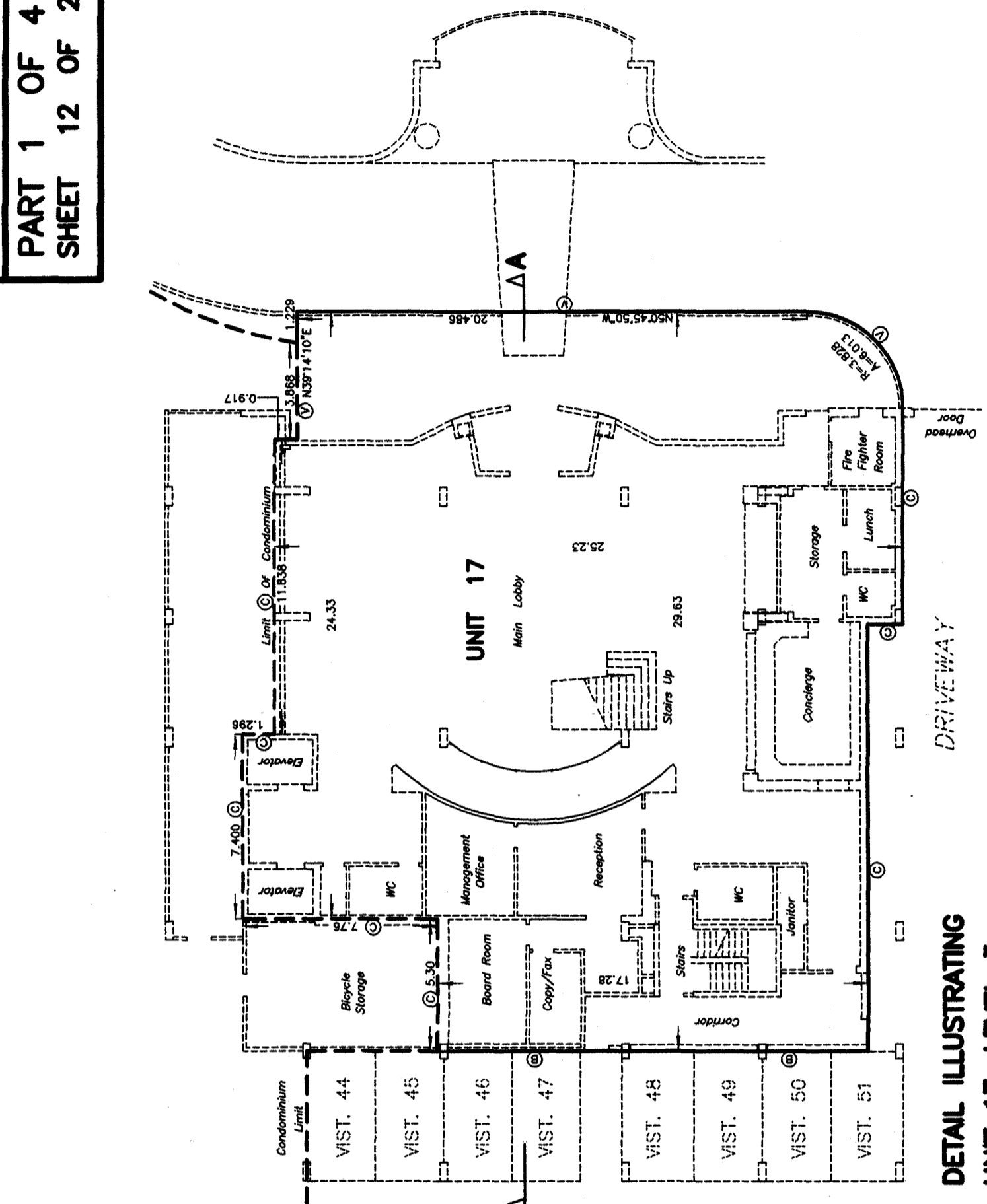
**UNIT BOUNDARY DEFINITION**  
 THE MONUMENTS CONTROLLING THE EXTENT AND LOCATION OF THE UNITS ARE THE WALLS, FLOORS AND CEILINGS AS MORE PARTICULARLY DESCRIBED IN THE DECLARATION (SEE SCHEDULE "C")



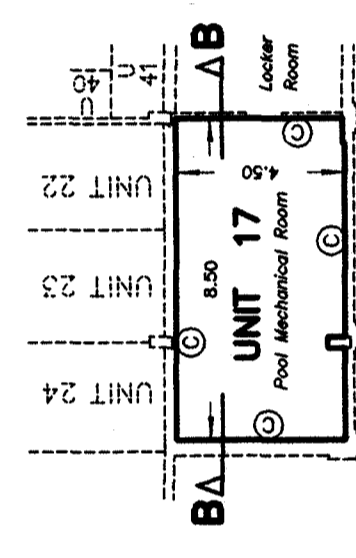
**DETAIL ILLUSTRATING**  
**UNIT 17, LEVEL 3**  
**AT LEVEL 4**



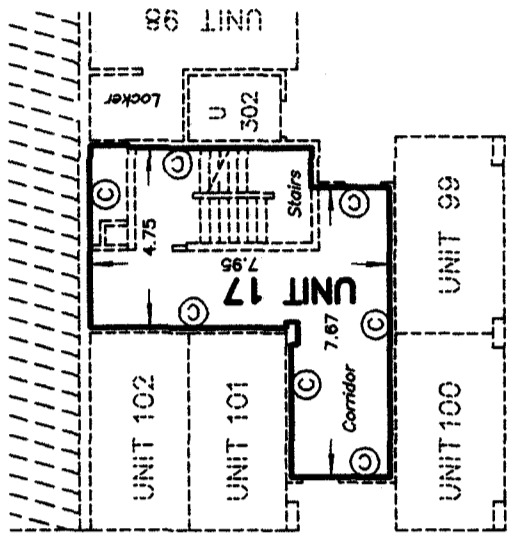
**SECTION A-A**  
 (NOT TO SCALE)



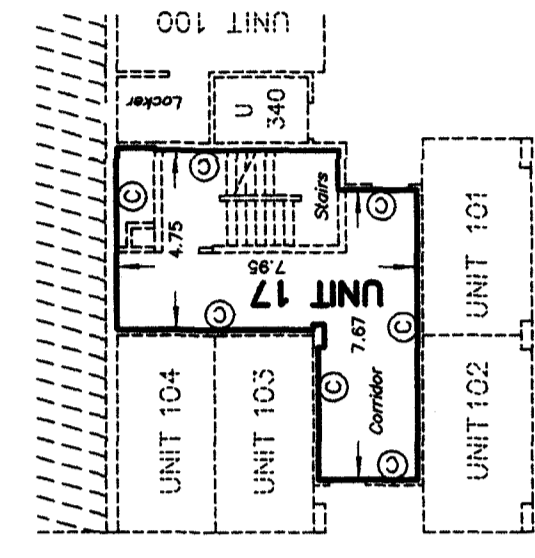
**DETAIL ILLUSTRATING**  
**UNIT 17, LEVEL 3**  
**AT LEVEL 2**



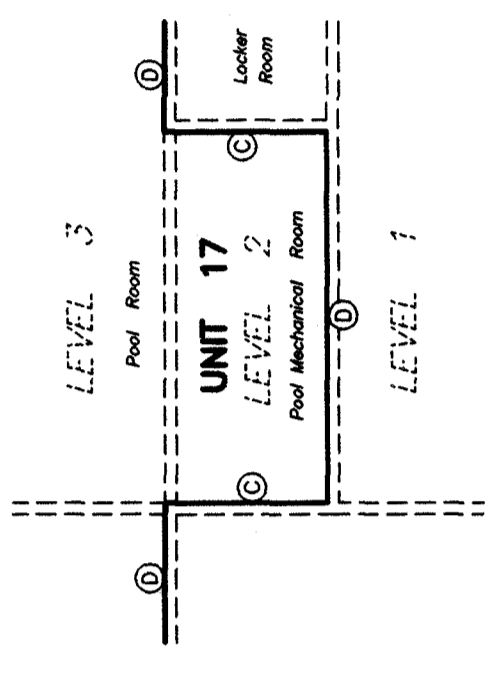
**DETAIL ILLUSTRATING**  
**UNIT 17, LEVEL 3**  
**AT LEVEL 2**



**DETAIL ILLUSTRATING**  
**UNIT 17, LEVEL 3**  
**AT LEVEL A**



**DETAIL ILLUSTRATING**  
**UNIT 17, LEVEL 3**  
**AT LEVEL B**



**SECTION B-B**  
 (NOT TO SCALE)

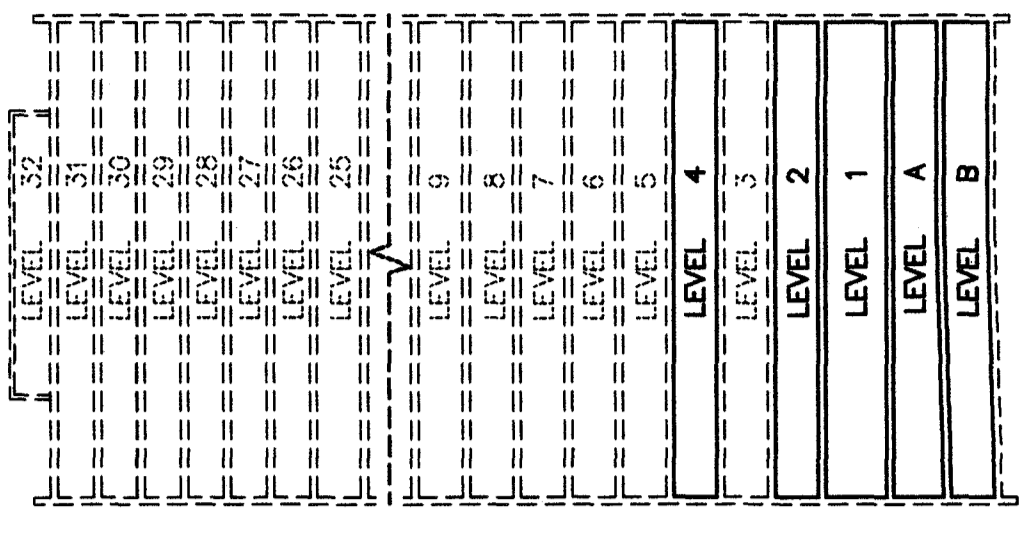
- NOTES**
- ① DENOTES UNFINISHED INTERIOR SURFACE OF DOOR AND DOOR FRAME
  - ② DENOTES VERTICAL PLANE JOINING CENTRE LINE OF CONCRETE COLUMNS AND ITS PRODUCTION LINE AND FACE OF CONCRETE, CONCRETE BLOCK WALL OR COLUMN
  - ③ DENOTES UNFINISHED UPPER SURFACE OF CONCRETE FLOOR SLAB
  - ④ DENOTES UNFINISHED LOWER SURFACE OF CONCRETE CEILING SLAB
  - ⑤ DENOTES UNFINISHED INTERIOR SURFACE OF WINDOW FRAME AND INTERIOR SURFACE OF ALL GLASS PANELS LOCATED THEREIN
  - ⑥ DENOTES HORIZONTAL PLANE CONTROLLED BY MEASUREMENTS
  - ⑦ DENOTES BACKSIDE FACE OF DRYWALL
  - ⑧ DENOTES VERTICAL PLANE CONTROLLED BY MEASUREMENTS
  - ⑨ DENOTES BOUNDARY OF UNIT
  - ⑩ DENOTES A TYPICAL DESIGNATION OF THE COMMON ELEMENT
  - ⑪ DENOTES ELEVATION REFERRED TO CITY OF MISSISSAUGA BENCH MARK No. 883
  - Elev.

**SURVEYOR'S CERTIFICATE**  
 I CERTIFY THAT :  
 THE DIAGRAMS OF THE UNITS SHOWN  
 ON THIS PLAN ARE SUBSTANTIALLY ACCURATE.  
 DATED THIS 2nd DAY OF April, 2004.

*P. Hofmann*  
 P. HOFMANN  
 Ontario Land Surveyor

**CERTIFICATE OF DECLARANT**  
 THIS IS TO CERTIFY THAT THE PROPERTY INCLUDED IN THIS PLAN HAS BEEN LAID OUT INTO UNITS AND COMMON ELEMENTS IN ACCORDANCE WITH OUR INSTRUCTIONS  
**OWNER:** OVATION AT CITY CENTRE INC.  
 DATED THIS 2nd DAY OF April, 2004.

*[Signature]*  
 Authorized Signing Officer  
 I Have The Authority To Bind The Corporation  
 GEOFFREY GRAYHURST  
 Authorized Signing Officer  
 I Have The Authority To Bind The Corporation



**SECTION TO ILLUSTRATE THE VERTICAL RELATIONSHIP OF LEVELS**  
 (NOT TO SCALE)



**METRIC :** DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

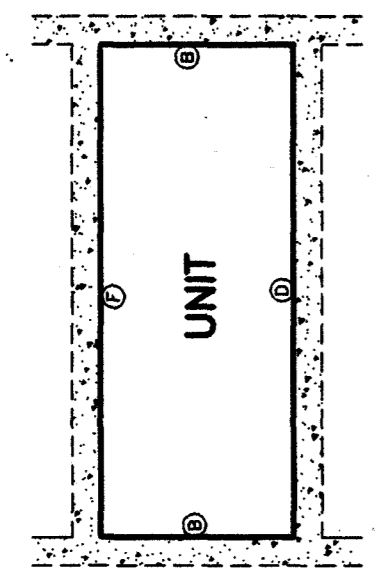
**PLAN OF SURVEY**  
**SHOWING THE SPECIFICATIONS AND RELATIONSHIP BETWEEN THE BOUNDARIES OF UNITS AND THE MONUMENTATION ON LEVEL 4**

SCALE : 1:200  
 0m 5m 10m 15 metres

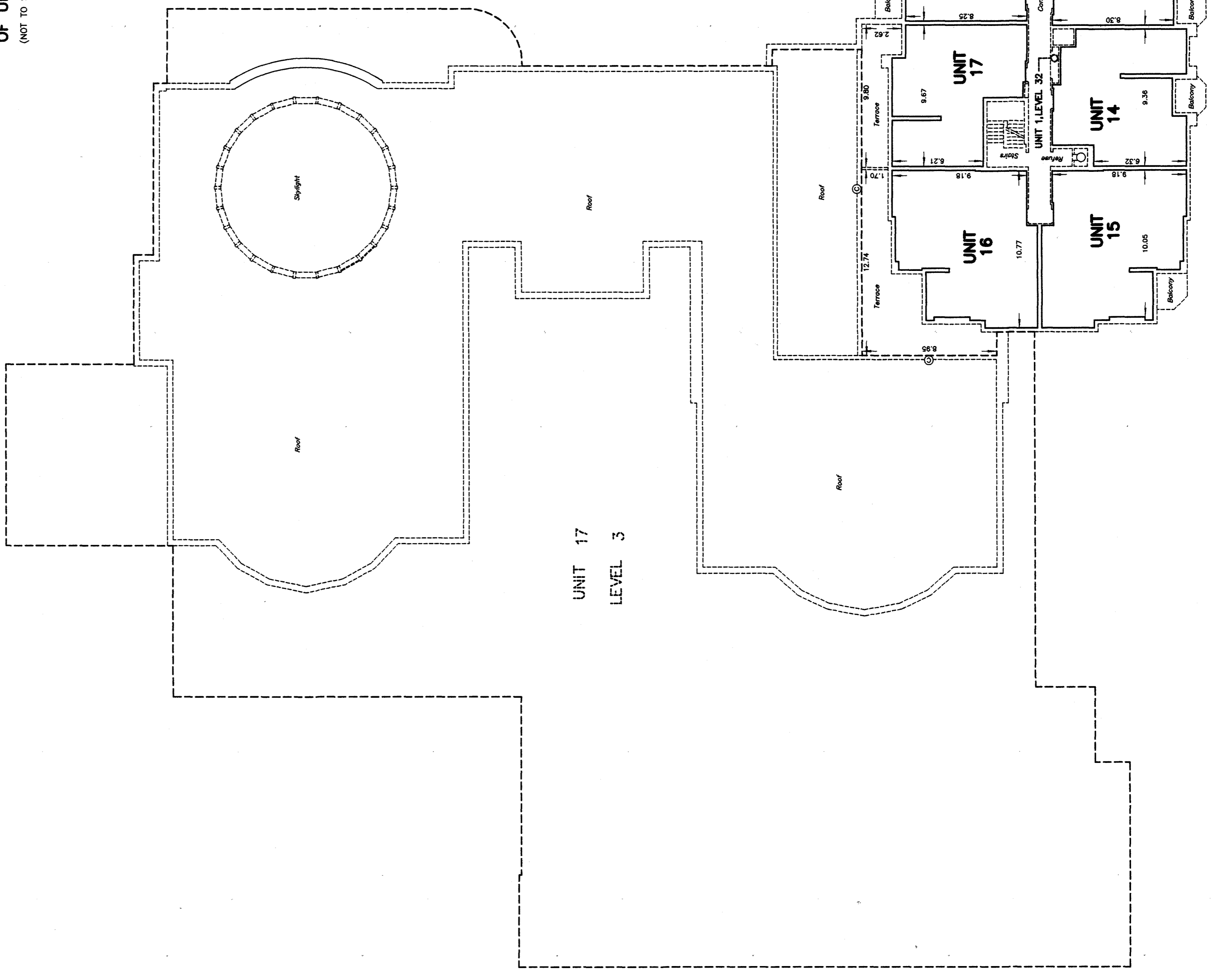
**P. HOFMANN, O.L.S.**  
 2004.

- NOTES**
- ① DENOTES UNFINISHED INTERIOR SURFACE OF DOOR AND DOOR FRAME
  - ② DENOTES BACKSIDE FACE OF DRYWALL
  - ③ DENOTES LINE AND FACE OF CONCRETE, CONCRETE BLOCK WALL OR COLUMN
  - ④ DENOTES UNFINISHED UPPER SURFACE OF CONCRETE FLOOR SLAB
  - ⑤ DENOTES UNFINISHED LOWER SURFACE OF CONCRETE CEILING SLAB
  - ⑥ DENOTES UNFINISHED INTERIOR SURFACE OF WINDOW FRAME AND HORIZONTAL PLANE CONTROLLED BY MEASUREMENTS
  - ⑦ DENOTES INTERIOR SURFACE OF ALL GLASS PANELS LOCATED THEREIN
  - ⑧ DENOTES HORIZONTAL PLANE CONTROLLED BY MEASUREMENTS
  - ⑨ DENOTES UNIT SIDE FACE OF WIRE MESH PANELS
  - ⑩ DENOTES VERTICAL PLANE CONTROLLED BY MEASUREMENTS
  - DENOTES BOUNDARY OF UNIT
  - - - DENOTES A TYPICAL DESIGNATION OF THE COMMON ELEMENT

**UNIT BOUNDARY DEFINITION**  
 THE MONUMENTS CONTROLLING THE EXTENT AND LOCATION OF THE UNITS ARE THE WALLS, FLOORS AND CEILINGS AS MORE PARTICULARLY DESCRIBED IN THE DECLARATION (SEE SCHEDULE "C")



**SECTION TO ILLUSTRATE UNIT BOUNDARIES TYPICAL OF UNITS 1 TO 18 INCLUSIVE**  
 (NOT TO SCALE)



**CERTIFICATE OF DECLARANT**

THIS IS TO CERTIFY THAT THE PROPERTY INCLUDED IN THIS PLAN HAS BEEN LAID OUT INTO UNITS AND COMMON ELEMENTS IN ACCORDANCE WITH OUR INSTRUCTIONS

**OWNER:**  
**OVATION AT CITY CENTRE INC.**

DATED THIS 2nd DAY OF April, 2004.

*[Signature]*  
**TAMM MORO**  
 Authorized Signing Officer  
 I Have The Authority To Bind The Corporation

*[Signature]*  
**GEORFREY GRAVHURST**  
 Authorized Signing Officer  
 I Have The Authority To Bind The Corporation

**PEEL STANDARD CONDOMINIUM PLAN No. 712**  
**PART 1 OF 4 PARTS**  
**SHEET 13 OF 28 SHEETS**

**LEVEL 4**  
**UNITS 1 to 18, inclusive**

REGISTERED IN THE LAND REGISTRY OFFICE FOR THE LAND TITLES DIVISION OF PEEL (No.43) AT BRAMPTON AT 4:16 O'CLOCK ON THE 17th DAY OF June, 2004.

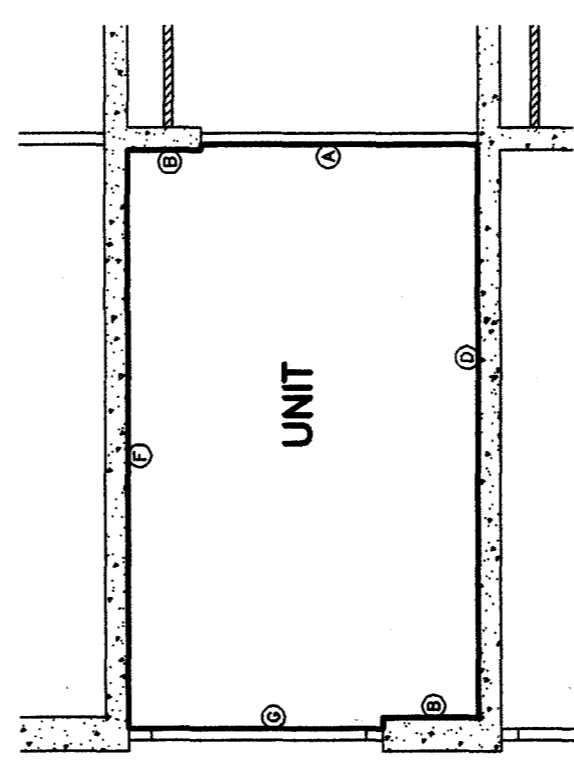
DATE  
 ASST. DEP. LAND REGISTRAR  
*[Signature]*

**SURVEYOR'S CERTIFICATE**

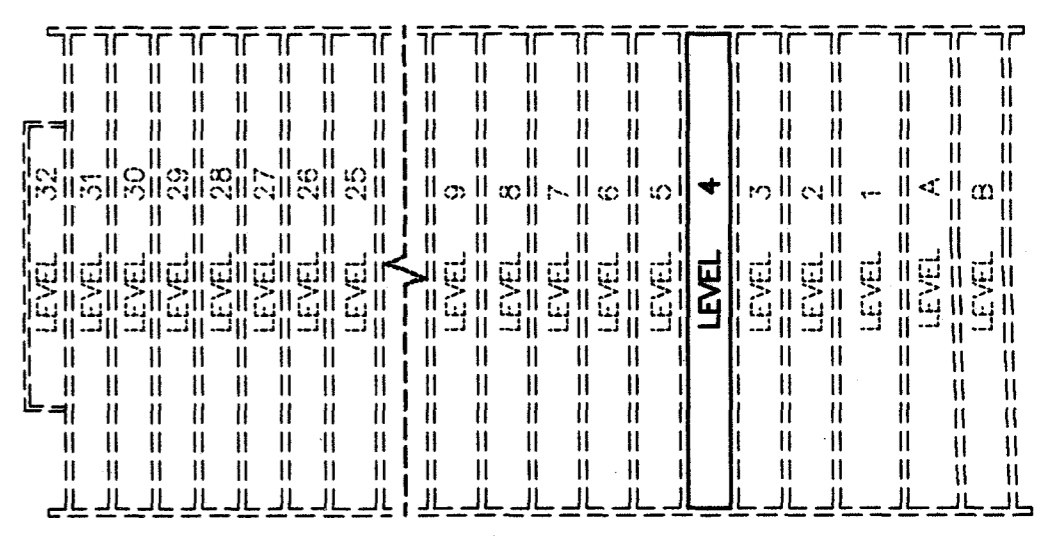
- I CERTIFY THAT :
- 1) THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE CONDOMINIUM ACT 1998, THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
  - 2) THIS SURVEY WAS COMPLETED ON THE 12th DAY OF March, 2004.
  - 3) THE DIAGRAMS OF THE UNITS SHOWN ON THIS PLAN ARE SUBSTANTIALLY ACCURATE.
- DATED THIS 2nd DAY OF April, 2004.

*[Signature]*  
**P. HOFMANN**  
 Ontario Land Surveyor

DECLARATION REGISTERED AS No. **PR658414**



**SECTION TO ILLUSTRATE TYPICAL UNIT BOUNDARIES IN THE VICINITY OF THE DOORS AND WINDOWS TYPICAL OF UNITS 1 TO 18 INCLUSIVE**  
 (NOT TO SCALE)



**I.M. PASTUSHAK LIMITED**  
 ONTARIO LAND SURVEYORS  
 SUITE 105-680 DUFFERIN STREET  
 DOWNSVIEW ONTARIO  
 (416) 661-1463  
 Fax : (416) 661-1249

**METRIC :** DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**PLAN OF SURVEY**  
**SHOWING THE SPECIFICATIONS AND RELATIONSHIP BETWEEN THE BOUNDARIES OF UNITS AND THE MONUMENTATION ON LEVELS 5 TO 11**  
**SCALE : 1:200**  
 0m 5m 10m 15 metres  
**P. HOFMANN , O.L.S.**  
**2004.**

**PART 1 OF 4 PARTS SHEET 14 OF 28 SHEETS**  
**LEVELS 5 and 6 , UNITS 1 to 18 inclusive**

**UNIT BOUNDARY DEFINITION**  
 THE MONUMENTS CONTROLLING THE EXTENT AND LOCATION OF THE UNITS ARE THE WALLS , FLOORS AND CEILINGS AS MORE PARTICULARLY DESCRIBED IN THE DECLARATION ( SEE SCHEDULE , "C" )

- NOTES**
- Ⓐ DENOTES UNFINISHED INTERIOR SURFACE OF DOOR AND DOOR FRAME
  - Ⓑ DENOTES BACKSIDE FACE OF DRYWALL
  - Ⓒ DENOTES LINE AND FACE OF CONCRETE, CONCRETE BLOCK, WALL OR COLUMN
  - Ⓓ DENOTES UNFINISHED UPPER SURFACE OF CONCRETE FLOOR SLAB
  - Ⓔ DENOTES UNFINISHED LOWER SURFACE OF CONCRETE CEILING SLAB
  - Ⓕ DENOTES UNFINISHED INTERIOR SURFACE OF WINDOW FRAME AND INTERIOR SURFACE OF ALL GLASS PANELS LOCATED THEREIN
  - Ⓖ DENOTES HORIZONTAL PLANE CONTROLLED BY MEASUREMENTS
  - Ⓗ DENOTES UNIT SIDE FACE OF WIRE MESH PANELS
  - Ⓘ DENOTES VERTICAL PLANE CONTROLLED BY MEASUREMENTS
  - Ⓚ DENOTES BOUNDARY OF UNIT
  - Ⓛ DENOTES A TYPICAL DESIGNATION OF THE COMMON ELEMENT

**CERTIFICATE OF DECLARANT**

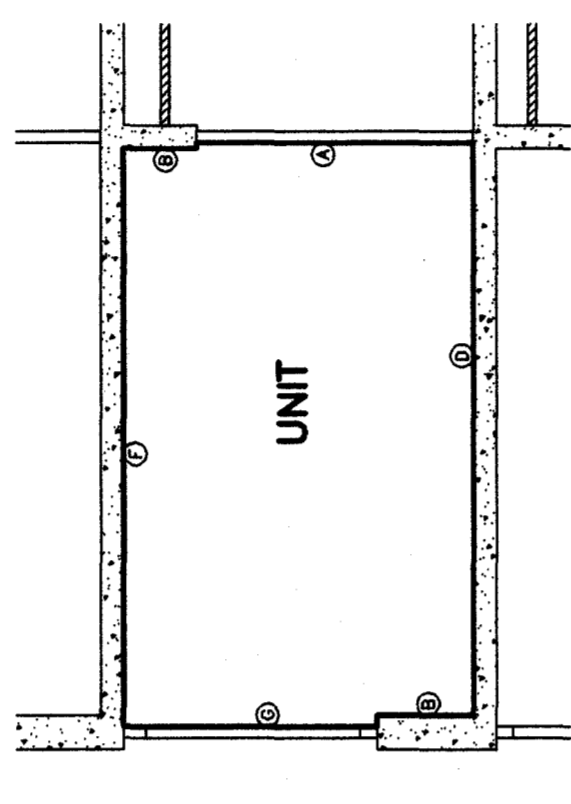
THIS IS TO CERTIFY THAT THE PROPERTY INCLUDED IN THIS PLAN HAS BEEN LAID OUT INTO UNITS AND COMMON ELEMENTS IN ACCORDANCE WITH OUR INSTRUCTIONS

**OWNER:**  
**OVATION AT CITY CENTRE INC.**  
 DATED THIS 2nd DAY OF April , 2004.

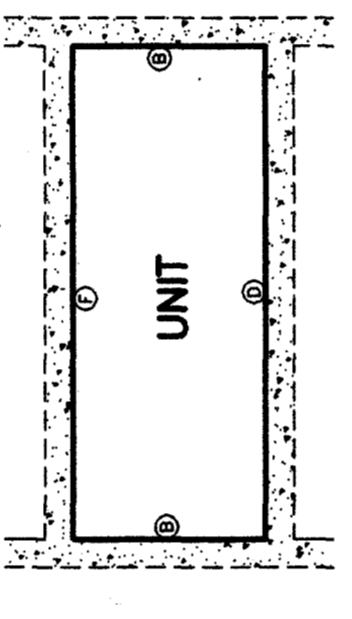
*[Signature]*  
**TOMY MORO**  
 Authorized Signing Officer  
 I Have The Authority To Bind The Corporation

*[Signature]*  
**GEORFFREY GRAYTHURST**  
 Authorized Signing Officer  
 I Have The Authority To Bind The Corporation

**SECTION TO ILLUSTRATE THE VERTICAL RELATIONSHIP OF LEVELS**  
 (Not To Scale)



**SECTION TO ILLUSTRATE TYPICAL UNIT BOUNDARIES IN THE VICINITY OF THE DOORS AND WINDOWS**  
 (NOT TO SCALE)



**SECTION TO ILLUSTRATE TYPICAL UNIT BOUNDARIES**  
 (NOT TO SCALE)

**PART 1 OF 4 PARTS SHEET 15 OF 28 SHEETS**  
**LEVEL 7, UNITS 1 to 18 inclusive**

**PART 1 OF 4 PARTS SHEET 16 OF 28 SHEETS**  
**LEVELS 8 to 11 , UNITS 1 to 18 inclusive**

**PART 1 OF 4 PARTS SHEET 16 OF 28 SHEETS**  
**LEVELS 8 to 11 , UNITS 1 to 18 inclusive**

LEVEL 32
LEVEL 31
LEVEL 30
LEVEL 29
LEVEL 28
LEVEL 27
LEVEL 26
LEVEL 25
LEVEL 24
LEVEL 23
LEVEL 22
LEVEL 21
LEVEL 20
LEVEL 19
LEVEL 18
LEVEL 17
LEVEL 16
LEVEL 15
LEVEL 14
LEVEL 13
LEVEL 12
LEVEL 11
LEVEL 10
LEVEL 9
LEVEL 8
LEVEL 7
LEVEL 6
LEVEL 5
LEVEL 4
LEVEL 3
LEVEL 2
LEVEL 1
LEVEL A
LEVEL B

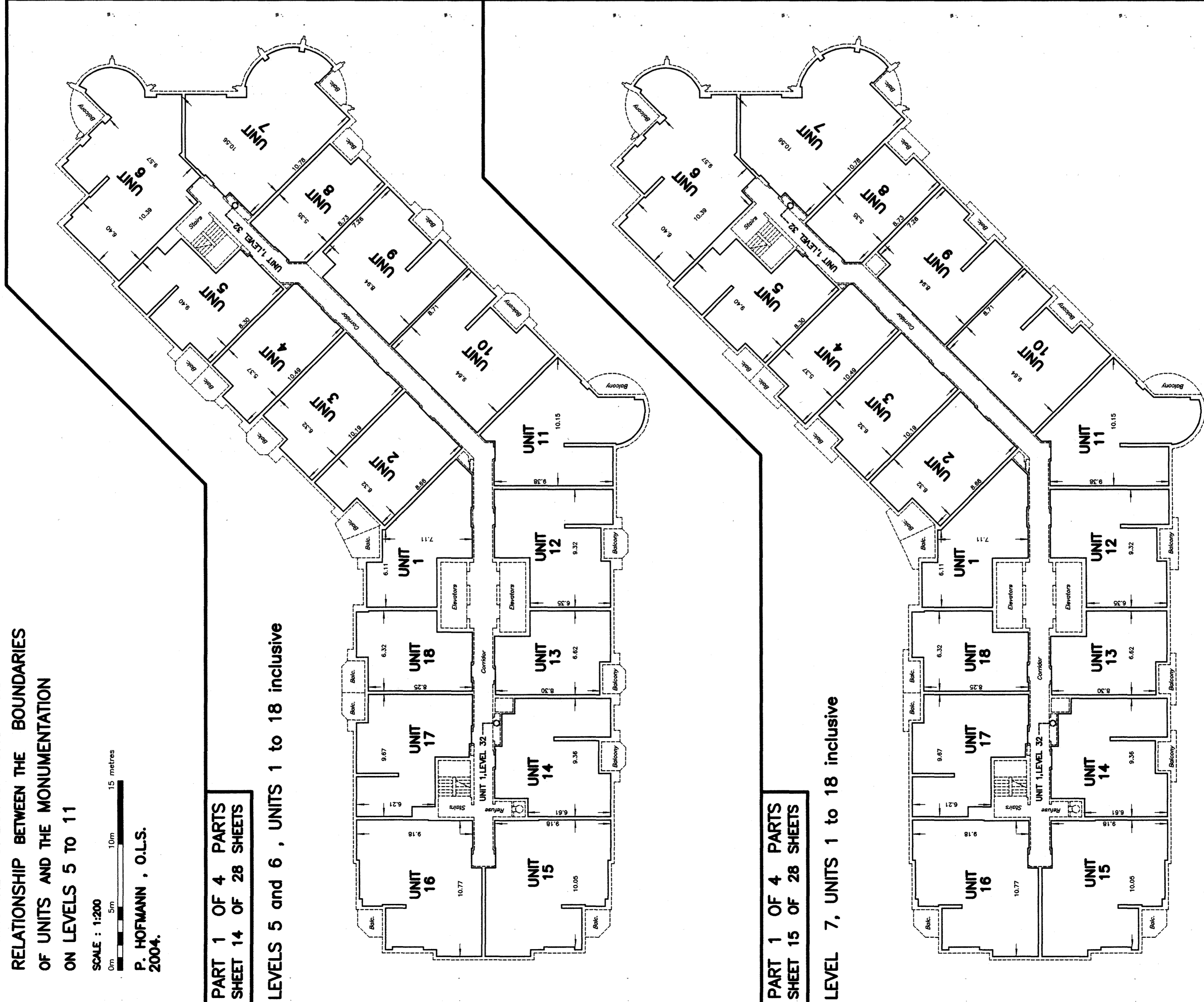
REGISTERED IN THE LAND REGISTRY OFFICE FOR THE LAND TITLES DIVISION OF PEEL (No.43) AT BRAMPTON AT 4:10 O'CLOCK ON THE 17th DAY OF June , 2004.  
 DATE  
*[Signature]*  
**ASST. DEPT. LAND REGISTRAR**

**SURVEYOR'S CERTIFICATE**

I CERTIFY THAT :  
 1) THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE CONDOMINIUM ACT 1998, THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.  
 2) THIS SURVEY WAS COMPLETED ON THE 12th DAY OF March , 2004.  
 3) THE DIAGRAMS OF THE UNITS SHOWN ON THIS PLAN ARE SUBSTANTIALLY ACCURATE.  
 DATED THIS 2nd DAY OF April , 2004.

*[Signature]*  
**P. HOFMANN**  
 Ontario Land Surveyor

DECLARATION REGISTERED AS No. **PA658414**





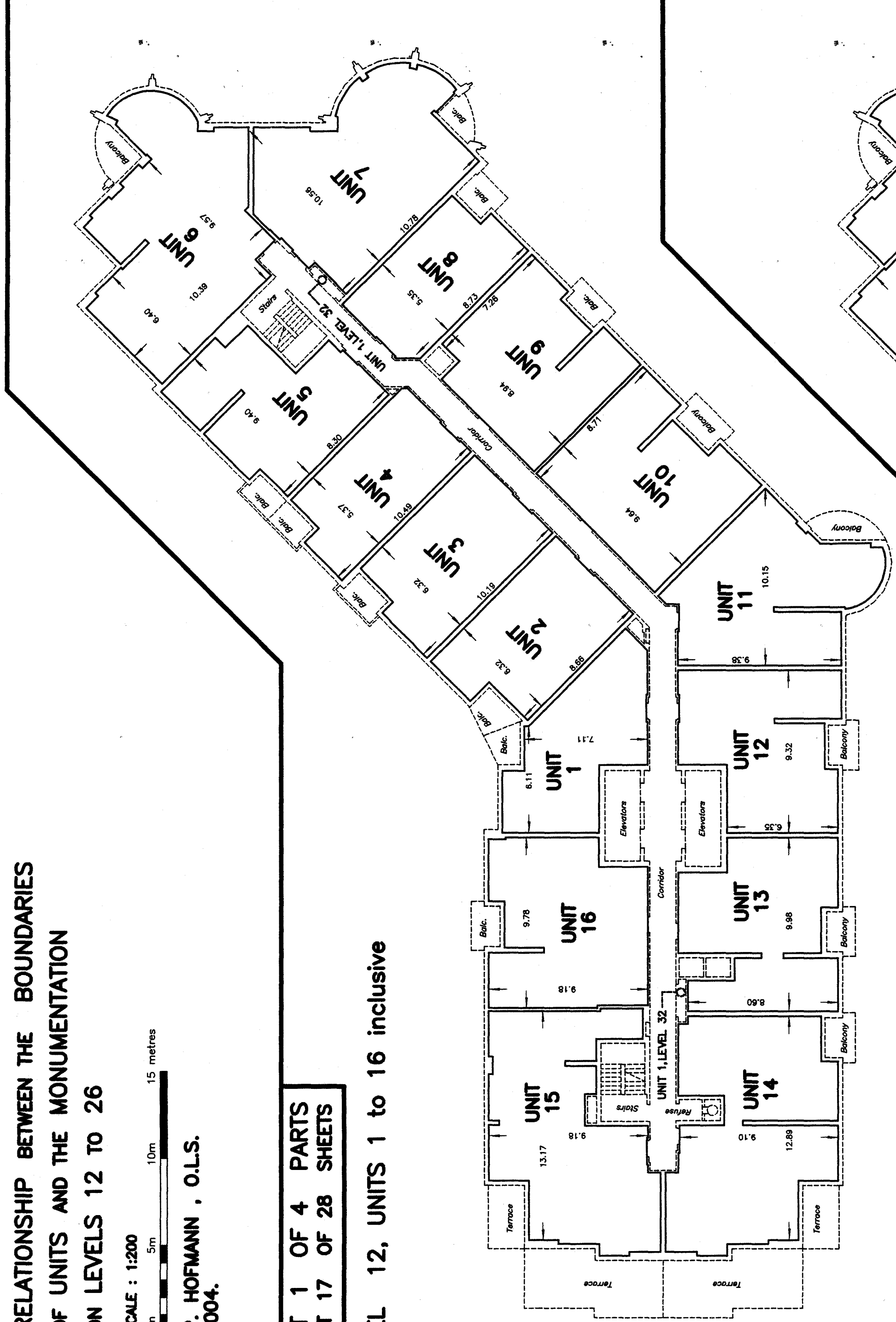
**METRIC :** DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**PLAN OF SURVEY**  
**SHOWING THE SPECIFICATIONS AND RELATIONSHIP BETWEEN THE BOUNDARIES OF UNITS AND THE MONUMENTATION ON LEVELS 12 TO 26**

SCALE : 1:200  
 0m 5m 10m 15 metres  
**P. HOFMANN , O.L.S.**  
 2004.

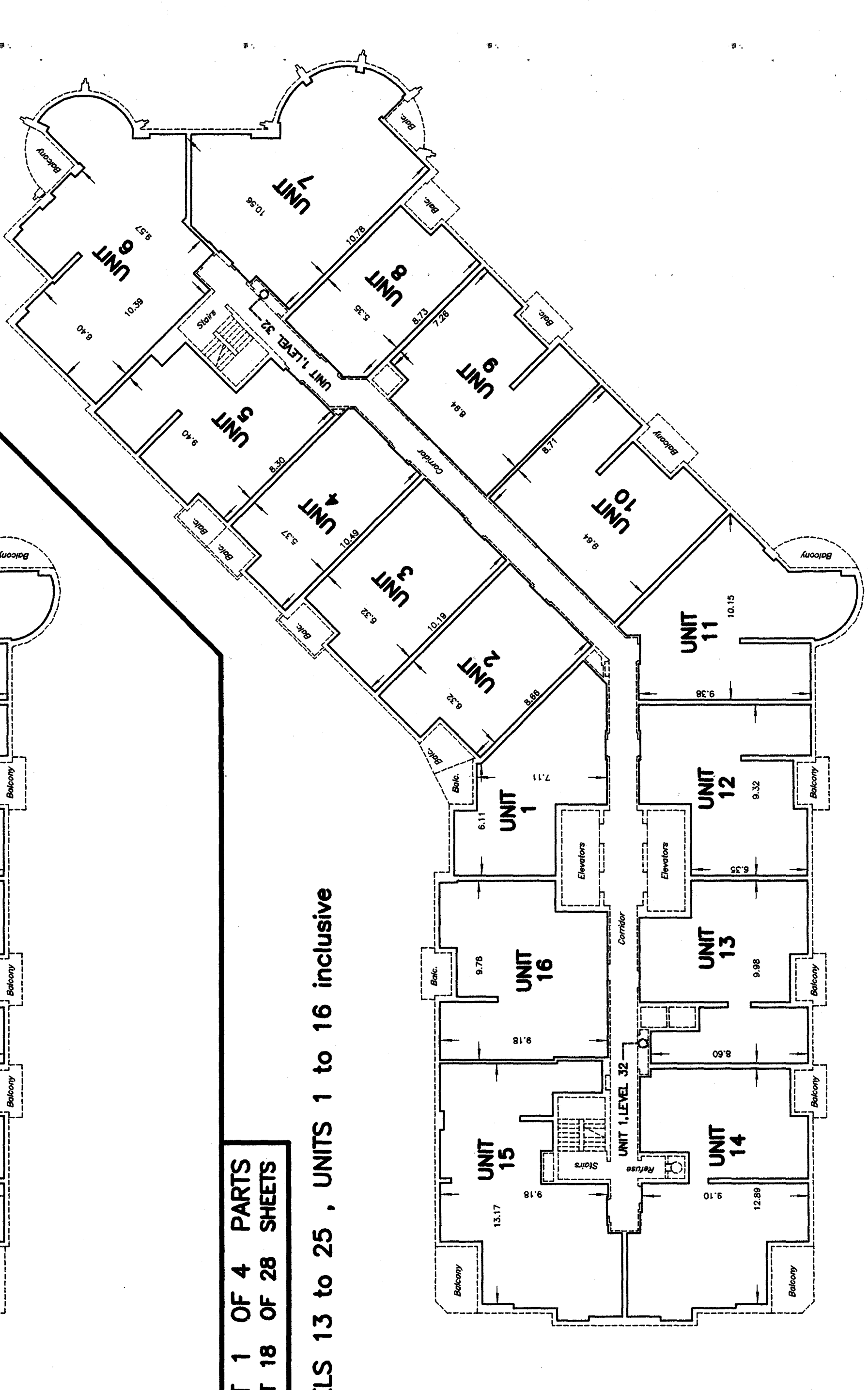
**PART 1 OF 4 PARTS**  
**SHEET 17 OF 28 SHEETS**

**LEVEL 12, UNITS 1 to 16 inclusive**



**PART 1 OF 4 PARTS**  
**SHEET 18 OF 28 SHEETS**

**LEVELS 13 to 25 , UNITS 1 to 16 inclusive**



**UNIT BOUNDARY DEFINITION**  
 THE MONUMENTS CONTROLLING THE EXTENT AND LOCATION OF \* THE UNITS ARE THE WALLS, FLOORS AND CEILINGS AS MORE PARTICULARLY DESCRIBED IN THE DECLARATION ( SEE SCHEDULE "C" )

**NOTES**

- Ⓐ DENOTES UNFINISHED INTERIOR SURFACE OF DOOR AND DOOR FRAME
- Ⓑ DENOTES BACKSIDE FACE OF DRYWALL
- Ⓒ DENOTES LINE AND FACE OF CONCRETE, CONCRETE BLOCK WALL OR COLUMN
- Ⓓ DENOTES UNFINISHED UPPER SURFACE OF CONCRETE FLOOR SLAB
- Ⓔ DENOTES UNFINISHED LOWER SURFACE OF CONCRETE CEILING SLAB
- Ⓚ DENOTES UNFINISHED INTERIOR SURFACE OF WINDOW FRAME AND
- Ⓛ DENOTES HORIZONTAL SURFACE OF ALL GLASS PANELS LOCATED THEREIN
- Ⓜ DENOTES UNIT SIDE FACE OF WIRE MESH PANELS
- Ⓝ DENOTES VERTICAL PLANE CONTROLLED BY MEASUREMENTS
- Ⓟ DENOTES BOUNDARY OF UNIT
- Ⓠ DENOTES A TYPICAL DESIGNATION OF THE COMMON ELEMENT

**CERTIFICATE OF DECLARANT**

THIS IS TO CERTIFY THAT THE PROPERTY INCLUDED IN THIS PLAN HAS BEEN LAID OUT INTO UNITS AND COMMON ELEMENTS IN ACCORDANCE WITH OUR INSTRUCTIONS

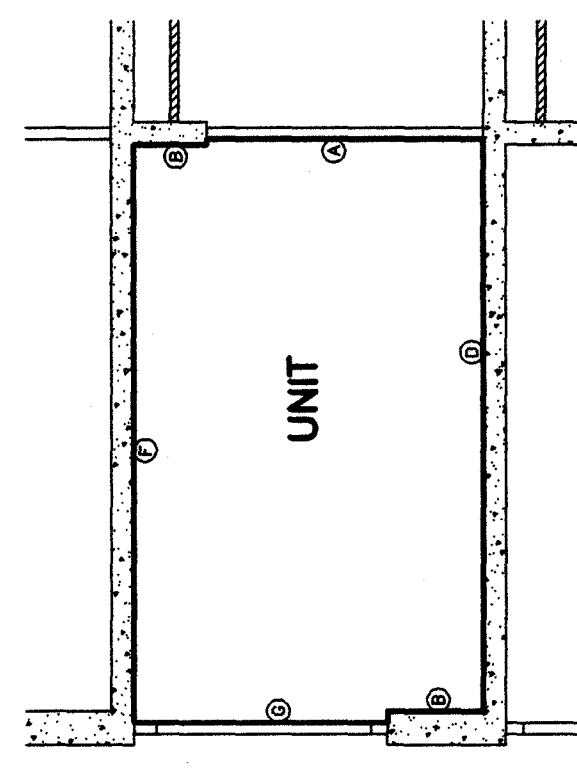
**OWNER:**  
**OVATION AT CITY CENTRE INC.**

DATED THIS 2nd DAY OF April, 2004.

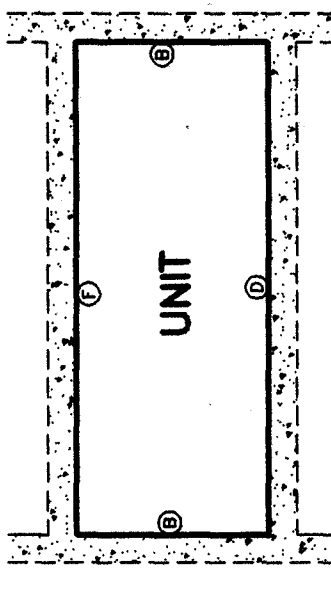
*[Signature]*  
 TONY MANDOR  
 Authorised Signing Officer  
 I Have The Authority To Bind The Corporation

*[Signature]*  
 GEOFFREY GRAYHURST  
 Authorised Signing Officer  
 I Have The Authority To Bind The Corporation

**SECTION TO ILLUSTRATE THE VERTICAL RELATIONSHIP OF LEVELS**  
 (Not To Scale)



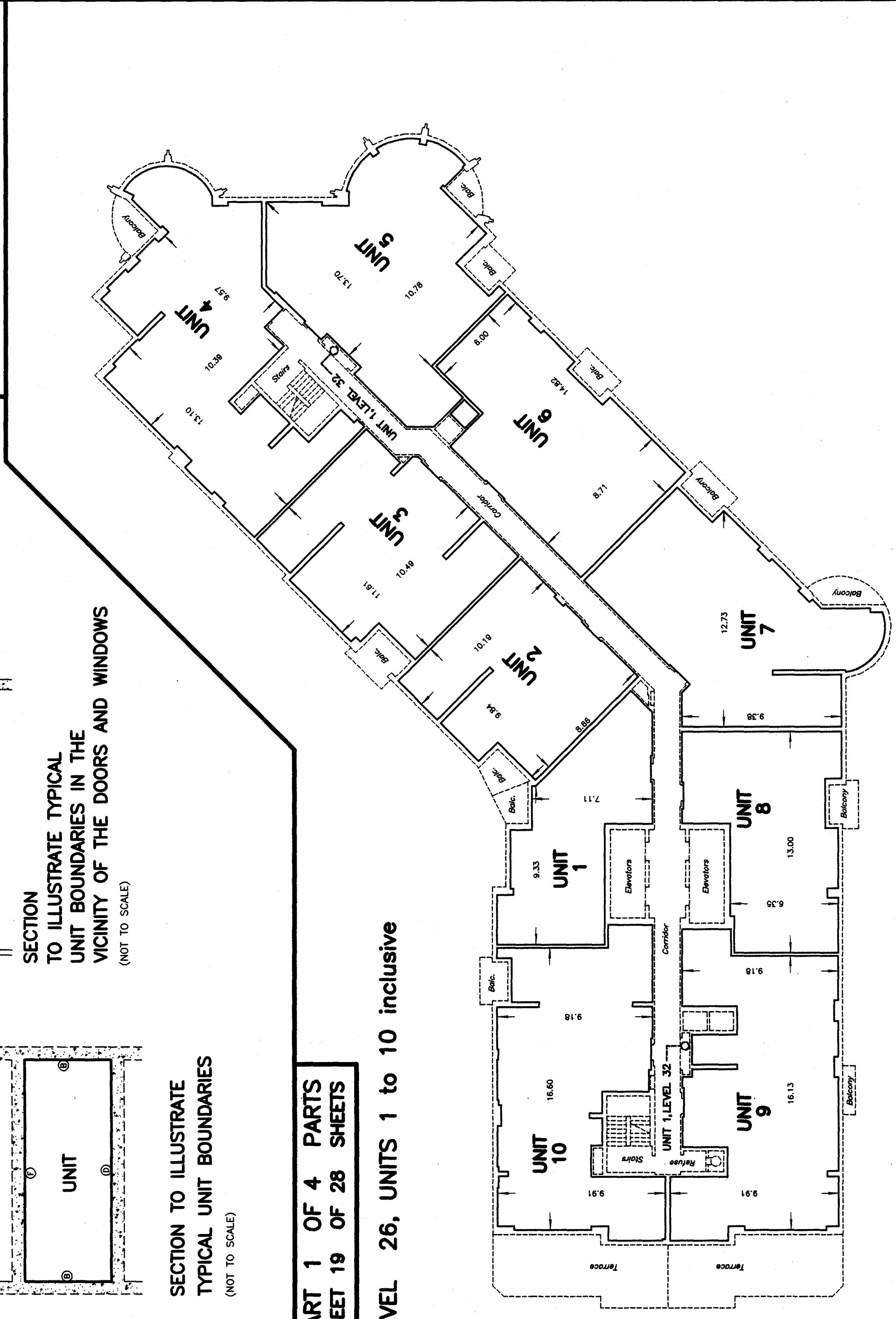
**SECTION TO ILLUSTRATE TYPICAL UNIT BOUNDARIES IN THE VICINITY OF THE DOORS AND WINDOWS**  
 (NOT TO SCALE)



**SECTION TO ILLUSTRATE TYPICAL UNIT BOUNDARIES**  
 (NOT TO SCALE)

**PART 1 OF 4 PARTS**  
**SHEET 19 OF 28 SHEETS**

**LEVEL 26, UNITS 1 to 10 inclusive**



**PEEL STANDARD CONDOMINIUM PLAN No. 712**

**PART 1 OF 4 PARTS**  
**SHEETS 17 to 19 OF 28 SHEETS**

**LEVEL 12**  
**UNITS 1 to 16 , inclusive**

**LEVELS 13 to 25**  
**UNITS 1 to 16 , inclusive**

**LEVEL 26**  
**UNITS 1 to 10 , inclusive**

REGISTERED IN THE LAND REGISTRY OFFICE FOR THE LAND TITLES DIVISION OF PEEL (No.43) AT BRAMPTON AT 4:18 O'CLOCK ON THE 17th DAY OF June, 2004.  
 DATE  
*[Signature]*  
 ASST. DEPT. LAND REGISTRAR

**SURVEYOR'S CERTIFICATE**

I CERTIFY THAT :  
 1) THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE CONDOMINIUM ACT 1998, THE SURVEY'S ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.

2) THIS SURVEY WAS COMPLETED ON THE 12th DAY OF March, 2004.  
 3) THE DIAGRAMS OF THE UNITS SHOWN ON THIS PLAN ARE SUBSTANTIALLY ACCURATE.  
 DATED THIS 2nd DAY OF April, 2004.

*[Signature]*  
 P. HOFMANN  
 Ontario Land Surveyor

DECLARATION REGISTERED AS No.

**METRIC :** DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**PLAN OF SURVEY**

**SHOWING THE SPECIFICATIONS AND RELATIONSHIP BETWEEN THE BOUNDARIES OF UNITS AND THE MONUMENTATION ON LEVELS 27 TO 31**

SCALE : 1:200  
 0m 5m 10m 15 metres  
**P. HOFMANN , O.L.S.**  
 2004.

**PART 1 OF 4 PARTS SHEET 20 OF 28 SHEETS**

**LEVEL 27 , UNITS 1 TO 10 inclusive**

**UNIT BOUNDARY DEFINITION**  
 THE MONUMENTS CONTROLLING THE EXTENT AND LOCATION OF THE UNITS ARE THE WALLS, FLOORS AND CEILINGS AS MORE PARTICULARLY DESCRIBED IN THE DECLARATION ( SEE SCHEDULE "C" )

- NOTES**
- ⊙ DENOTES UNFINISHED INTERIOR SURFACE OF DOOR AND DOOR FRAME
  - ⊙ DENOTES BACKSIDE FACE OF DRYWALL
  - ⊙ DENOTES LINE AND FACE OF CONCRETE, CONCRETE BLOCK, WALL OR COLUMN
  - ⊙ DENOTES UNFINISHED UPPER SURFACE OF CONCRETE FLOOR SLAB
  - ⊙ DENOTES UNFINISHED LOWER SURFACE OF CONCRETE CEILING SLAB
  - ⊙ DENOTES UNFINISHED INTERIOR SURFACE OF WINDOW FRAME AND INTERIOR SURFACE OF ALL GLASS PANELS LOCATED THEREIN
  - ⊙ DENOTES HORIZONTAL PLANE CONTROLLED BY MEASUREMENTS
  - ⊙ DENOTES UNIT SIDE FACE OF WIRE MESH PANELS
  - ⊙ DENOTES VERTICAL PLANE CONTROLLED BY MEASUREMENTS
  - DENOTES BOUNDARY OF UNIT
  - - - DENOTES A TYPICAL DESIGNATION OF THE COMMON ELEMENT

**CERTIFICATE OF DECLARANT**

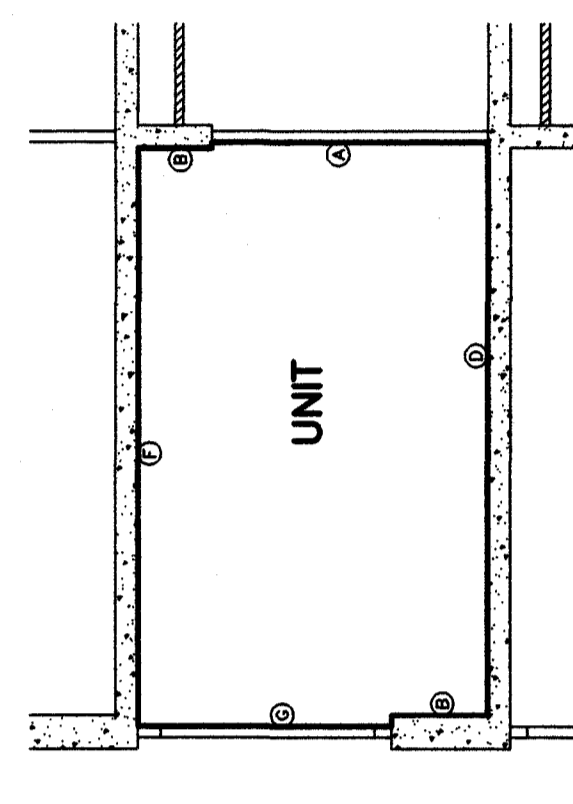
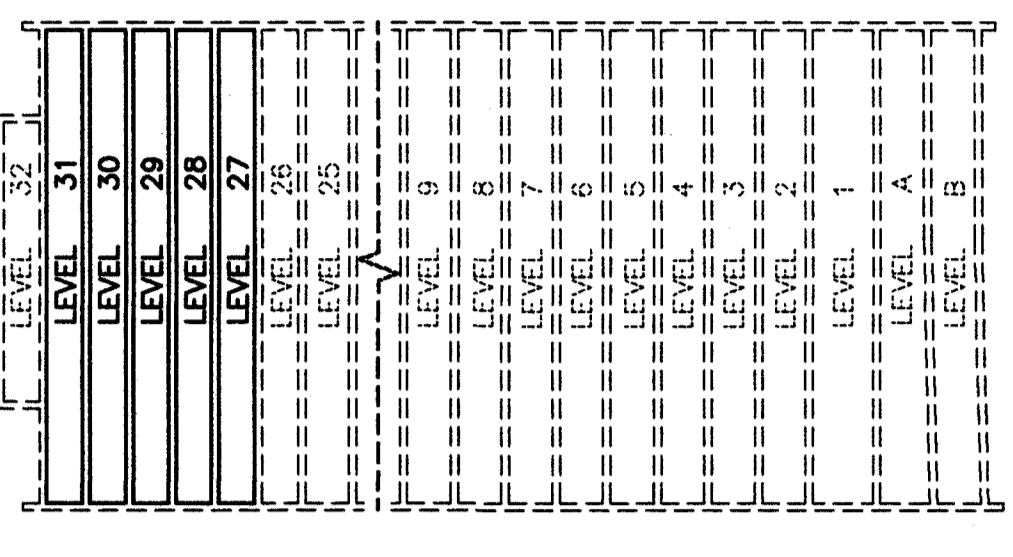
THIS IS TO CERTIFY THAT THE PROPERTY INCLUDED IN THIS PLAN HAS BEEN LAID OUT INTO UNITS AND COMMON ELEMENTS IN ACCORDANCE WITH OUR INSTRUCTIONS

**OWNER:**  
**OVATION AT CITY CENTRE INC.**  
 DATED THIS 2nd DAY OF April , 2004.

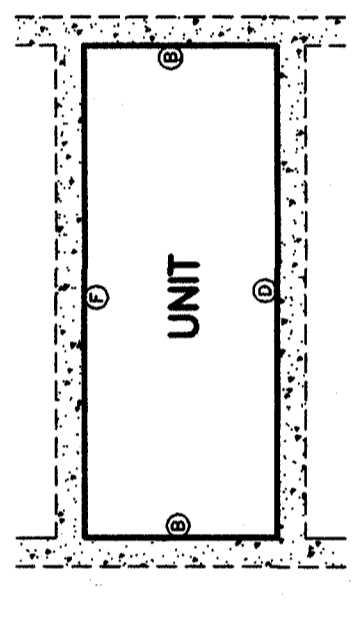
*[Signature]*  
 JONATHAN MORO  
 Authorized Signing Officer  
 I Have The Authority To Bind The Corporation

*[Signature]*  
 GEOFFREY GRAYHURST  
 Authorized Signing Officer  
 I Have The Authority To Bind The Corporation

**SECTION TO ILLUSTRATE THE VERTICAL RELATIONSHIP OF LEVELS**  
 (Not To Scale)



**SECTION TO ILLUSTRATE TYPICAL UNIT BOUNDARIES**  
 (NOT TO SCALE)



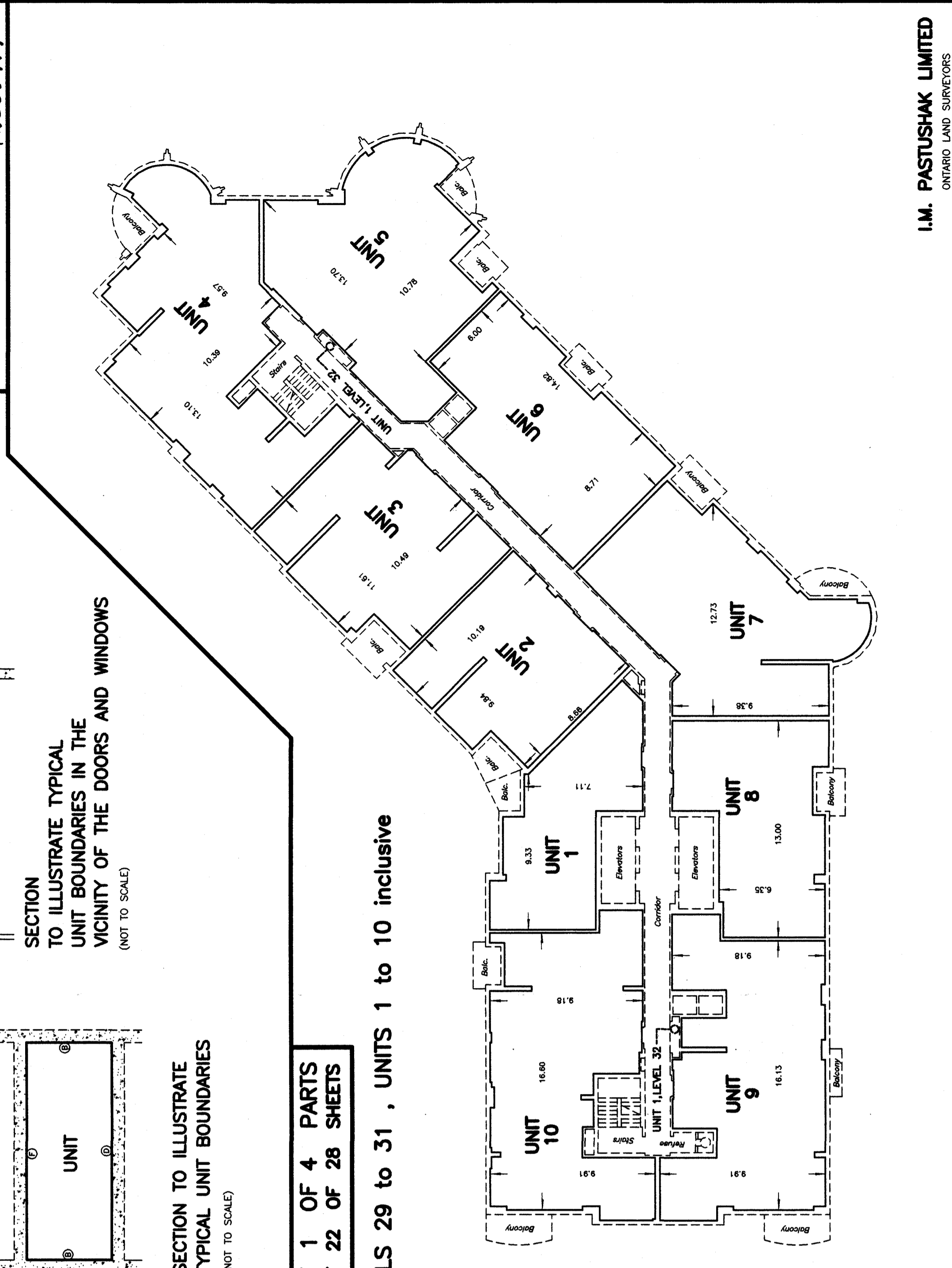
**SECTION TO ILLUSTRATE TYPICAL UNIT BOUNDARIES**  
 (NOT TO SCALE)

**PART 1 OF 4 PARTS SHEET 21 OF 28 SHEETS**

**LEVEL 28 , UNITS 1 TO 9 inclusive**

**PART 1 OF 4 PARTS SHEET 22 OF 28 SHEETS**

**LEVELS 29 TO 31 , UNITS 1 TO 10 inclusive**



**PEEL STANDARD CONDOMINIUM PLAN No. 712**

**PART 1 OF 4 PARTS SHEETS 20 TO 22 OF 28 SHEETS**

**LEVEL 27 UNITS 1 TO 10 , inclusive**

**LEVEL 28 UNITS 1 TO 9 , inclusive**

**LEVELS 29 TO 31 UNITS 1 TO 10 , inclusive**

REGISTERED IN THE LAND REGISTRY OFFICE FOR THE LAND TITLES DIVISION OF PEEL (No.43) AT BRAMPTON AT 4:16 O'CLOCK ON THE 17th DAY OF June , 2004.  
 DATE  
*[Signature]*  
 ASST. DEP. LAND REGISTRAR

**SURVEYOR'S CERTIFICATE**

I CERTIFY THAT :  
 1) THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE CONDOMINIUM ACT 1998, THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.

2) THIS SURVEY WAS COMPLETED ON THE 12th DAY OF March , 2004.

3) THE DIAGRAMS OF THE UNITS SHOWN ON THIS PLAN ARE SUBSTANTIALLY ACCURATE. DATED THIS 2nd DAY OF April , 2004.

*[Signature]*  
 P. HOFMANN  
 Ontario Land Surveyor

DECLARATION REGISTERED AS No. **PR658414**



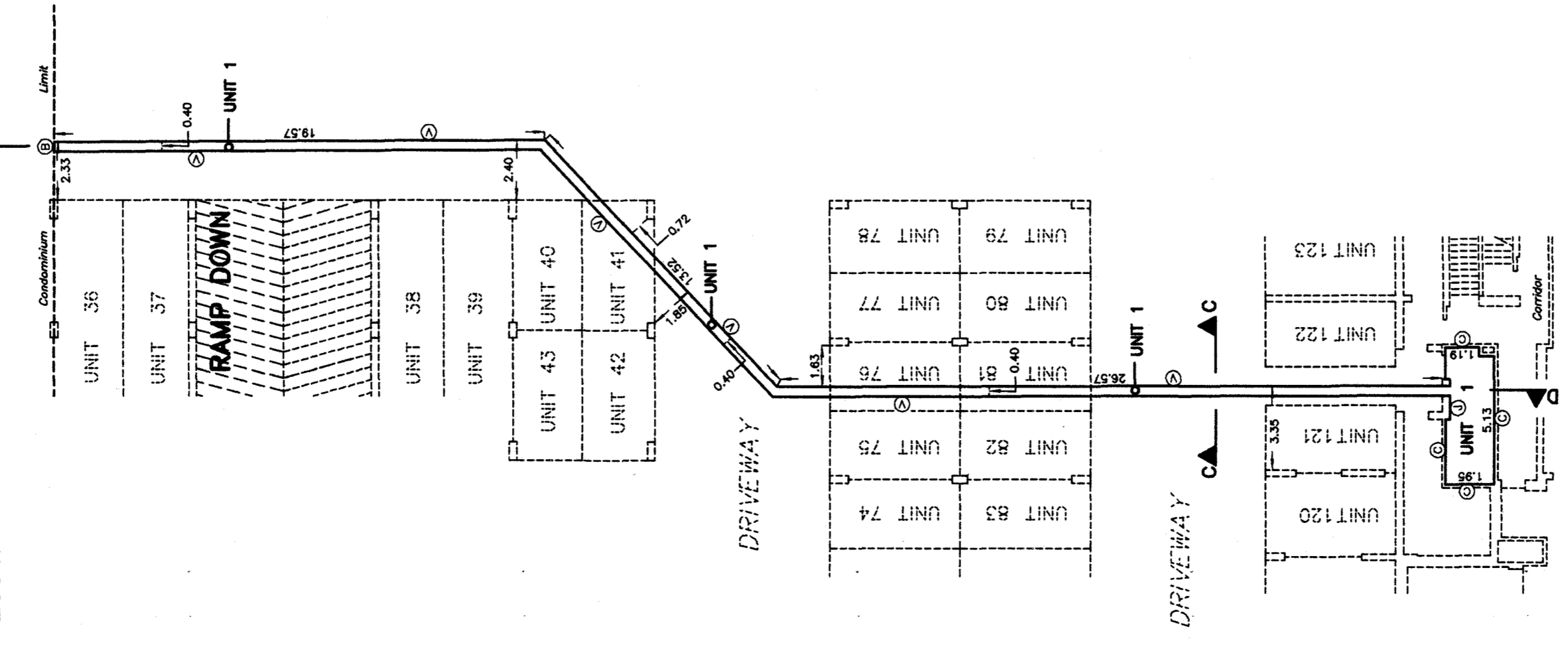
**METRIC :** DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**PLAN OF SURVEY**

**SHOWING THE SPECIFICATIONS AND RELATIONSHIP BETWEEN THE BOUNDARIES OF UNITS AND THE MONUMENTATION ON LEVEL 32**

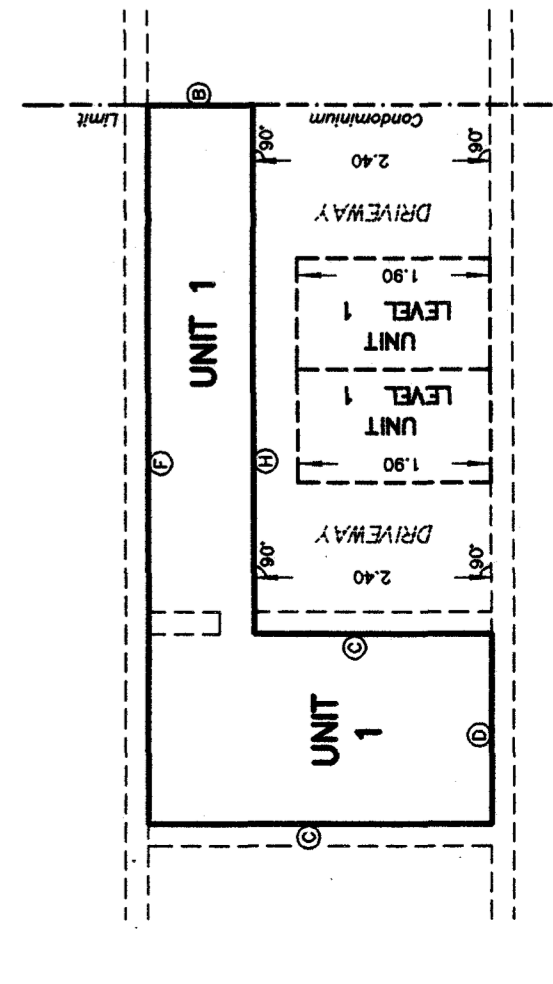
SCALE : 1:2000  
0m 5m 10m 15 metres

**P. HOFMANN, O.L.S.**  
2004.



**PLAN VIEW SHOWING LIMIT OF UNIT 1, LEVEL 32 (AT LEVEL 1)**

**SECTION D-D (NOT TO SCALE)**

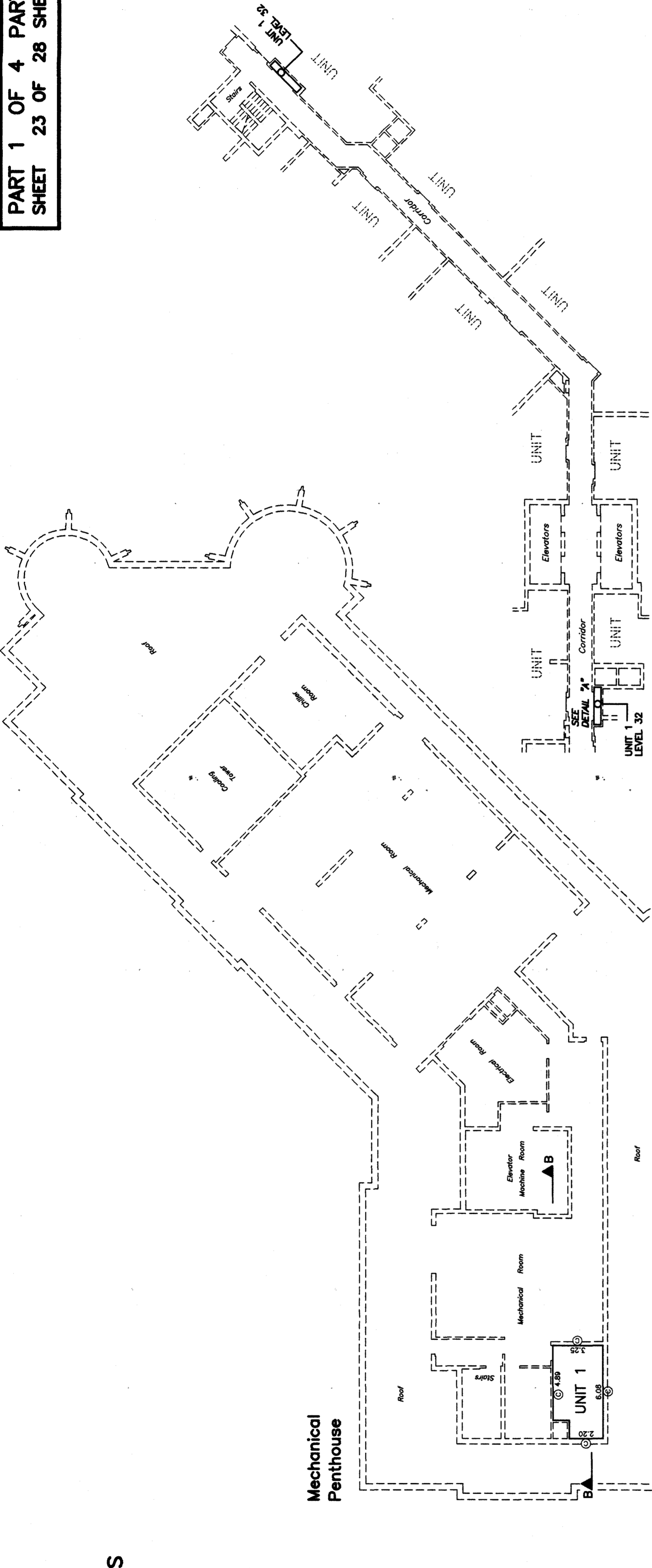


REF : P02-38C  
CAD FILE : P0238C15

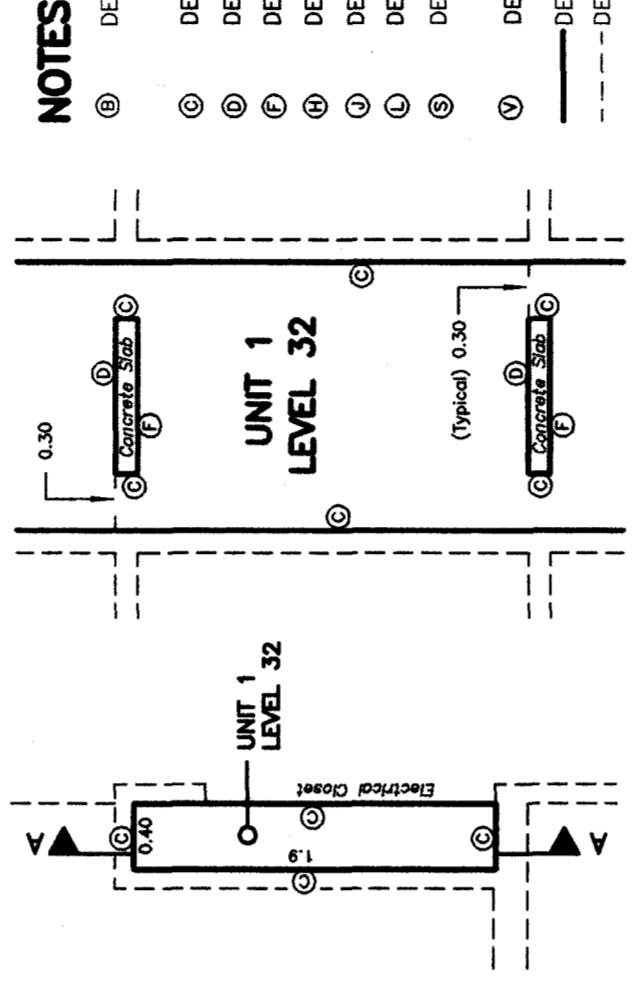
**PEEL STANDARD CONDOMINIUM PLAN No. 712**  
**PART 1 OF 4 PARTS**  
**SHEET 23 OF 28 SHEETS**

REGISTERED IN THE LAND REGISTRY OFFICE FOR THE LAND TITLES DIVISION OF PEEL (No.43) AT BRAMPTON AT 4:16 O'CLOCK ON THE 17th DAY OF June, 2004.  
DATE  
*P. Hofmann*  
ASST. DEP. LAND REGISTRAR

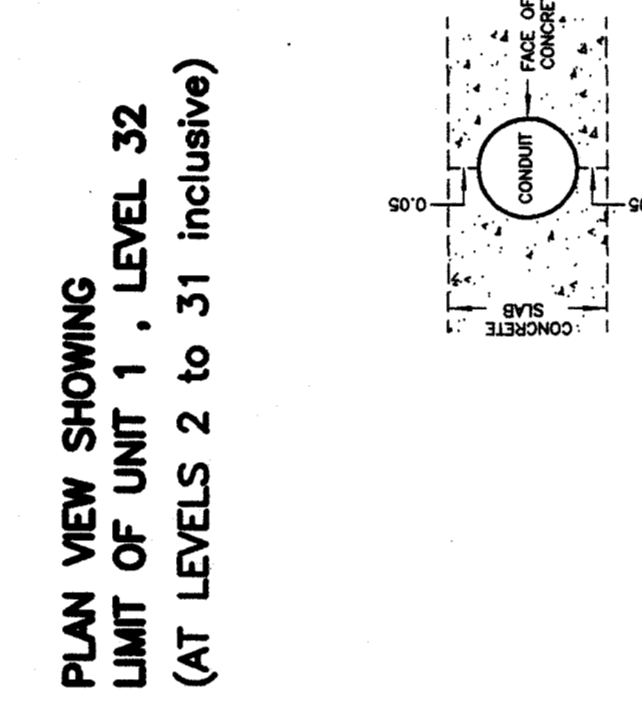
**SURVEYOR'S CERTIFICATE**  
I CERTIFY THAT :  
1) THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE CONDOMINIUM ACT 1998, THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.  
2) THIS SURVEY WAS COMPLETED ON THE 12th DAY OF March, 2004.  
3) THE DIAGRAMS OF THE UNITS SHOWN ON THIS PLAN ARE SUBSTANTIALLY ACCURATE.  
DATED THIS 2nd DAY OF April, 2004.  
*P. Hofmann*  
P. HOFMANN  
Ontario Land Surveyor  
DECLARATION REGISTERED AS No. **PR658414**



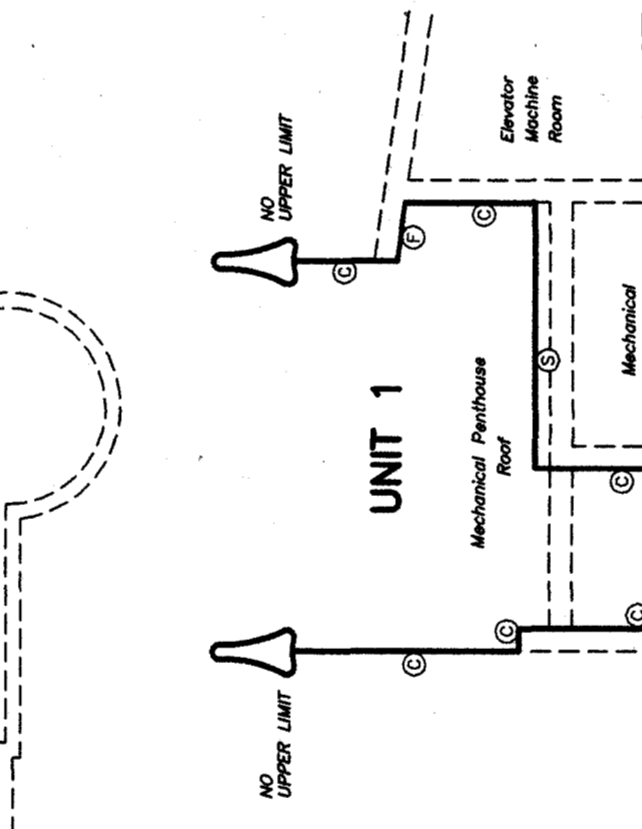
**PLAN VIEW SHOWING LIMIT OF UNIT 1, LEVEL 32 (AT LEVELS 2 TO 31 INCLUSIVE)**



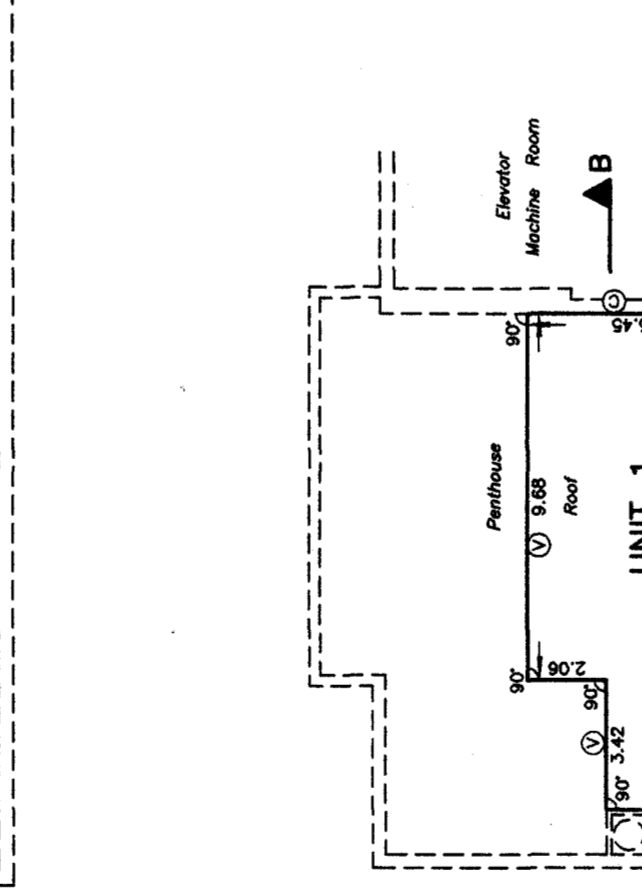
**SECTION A-A (NOT TO SCALE)**



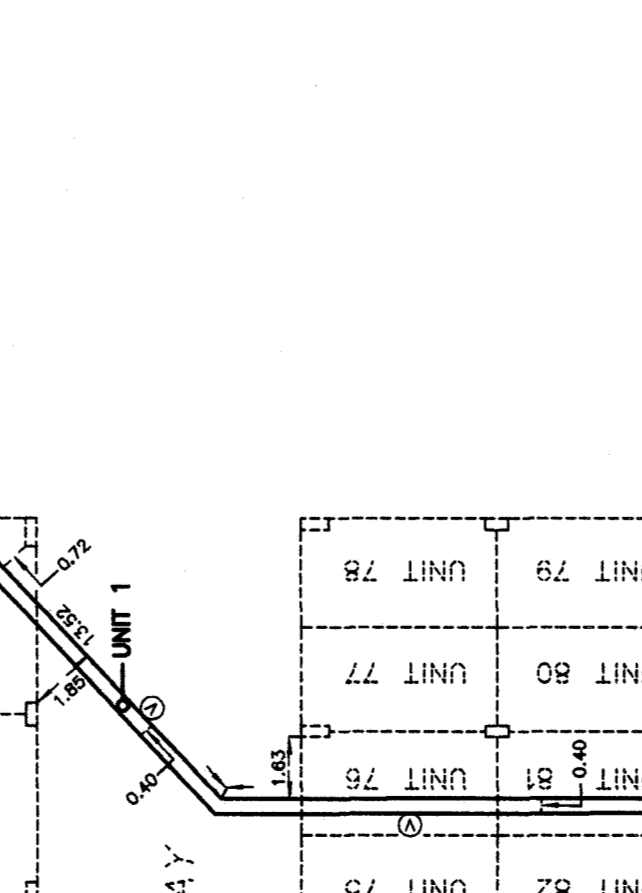
**SECTION B-B (NOT TO SCALE)**



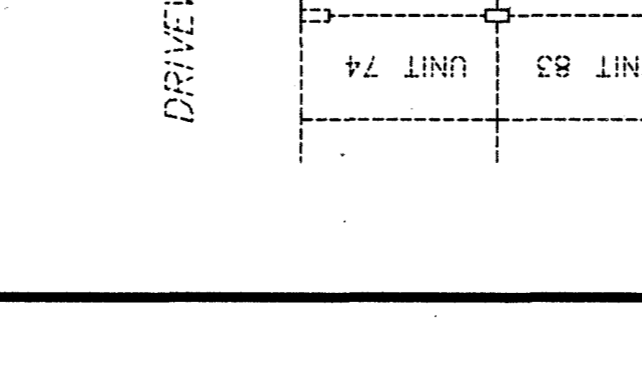
**SECTION C-C (NOT TO SCALE)**



**SECTION D-D (NOT TO SCALE)**



**SECTION E-E (NOT TO SCALE)**



**SECTION F-F (NOT TO SCALE)**

**NOTES**  
① DENOTES VERTICAL PLANE JOINING CENTRE LINE OF CONCRETE COLUMNS AND ITS PRODUCTION LINE AND FACE OF CONCRETE BLOCK, BRICK WALL OR COLUMN  
② DENOTES UNFINISHED UPPER SURFACE OF CONCRETE SLAB AND ITS PRODUCTION PLANE CONTROLLED BY MEASUREMENT  
③ DENOTES BACKSIDE FACE OF DRYWALL PRODUCTION OF  
④ DENOTES PLANE DISTANT 0.10 FROM THE UPPER SURFACE OF CONCRETE ROOF SLAB AND MEASURED PERPENDICULARLY THEREFROM  
⑤ DENOTES VERTICAL PLANE CONTROLLED BY MEASUREMENT  
⑥ DENOTES BOUNDARY OF UNIT  
--- DENOTES A TYPICAL DESIGNATION OF THE COMMON ELEMENT

**UNIT BOUNDARY DEFINITION**  
THE MONUMENTS CONTROLLING THE EXTENT AND LOCATION OF THE UNITS ARE THE WALLS, FLOORS AND CEILINGS AS MORE PARTICULARLY DESCRIBED IN THE DECLARATION (SEE SCHEDULE "C")

**CERTIFICATE OF DECLARANT**  
THIS IS TO CERTIFY THAT THE PROPERTY INCLUDED IN THIS PLAN HAS BEEN LAID OUT INTO UNITS AND COMMON ELEMENTS IN ACCORDANCE WITH OUR INSTRUCTIONS  
**OWNER:**  
**OMNION AT CITY CENTRE INC.**  
DATED THIS 2nd DAY OF April, 2004.

*[Signature]*  
Authorized Signing Officer  
I Have The Authority To Bind The Corporation

**SECTION TO ILLUSTRATE THE UNIT BOUNDARY WITHIN CONCRETE SLAB (NOT TO SCALE)**

**DETAIL "A" (NOT TO SCALE)**

**SECTION TO ILLUSTRATE THE VERTICAL EXTENT OF UNIT 1 (NOT TO SCALE)**

**SECTION B-B (NOT TO SCALE)**

**SECTION C-C (NOT TO SCALE)**

**SECTION D-D (NOT TO SCALE)**

**SECTION E-E (NOT TO SCALE)**

**SECTION F-F (NOT TO SCALE)**

**SECTION TO ILLUSTRATE THE RELATIONSHIP OF LEVELS**  
**I.M. PASTUSHAK LIMITED**  
ONTARIO LAND SURVEYORS  
SUITE 105-4800 DUFFERIN STREET  
DOWNSVIEW ONTARIO  
(416) 661-1463  
Fax : (416) 661-1249

**METRIC :** DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**PLAN OF SURVEY**

**SHOWING THE SPECIFICATIONS AND RELATIONSHIP BETWEEN THE BOUNDARIES OF UNITS AND THE MONUMENTATION ON LEVEL A**

SCALE : 1:200  
 0m 5m 10m 15 metres

**P. HOFMANN, O.L.S.**  
 2004.

**FOR ENLARGEMENT OF UNITS 210 TO 302  
 SEE SHEET 26 OF 28 SHEETS**

**NOTES**

- ⊙ DENOTES LINE OF FACE OF CONCRETE COLUMNS OR WALLS
- ⊙ DENOTES VERTICAL PLANE JOINING CENTRE LINE OF CONCRETE COLUMNS AND ITS PRODUCTION
- ⊙ DENOTES LINE AND FACE OF CONCRETE, CONCRETE BLOCK WALL OR COLUMN
- ⊙ DENOTES UNFINISHED UPPER SURFACE OF CONCRETE FLOOR SLAB
- ⊙ DENOTES UNFINISHED LOWER SURFACE OF CONCRETE CEILING SLAB
- ⊙ DENOTES VERTICAL PLANE ESTABLISHED BY THE CENTRE LINE OF COLUMN AND MEASUREMENT
- ⊙ DENOTES HORIZONTAL PLANE CONTROLLED BY MEASUREMENTS
- ⊙ DENOTES UNIT SIDE FACE OF WIRE MESH PANELS
- ⊙ DENOTES VERTICAL PLANE CONTROLLED BY MEASUREMENTS
- DENOTES BOUNDARY OF UNIT
- DENOTES A TYPICAL DESIGNATION OF THE COMMON ELEMENT
- ▨ DENOTES PART OF THE COMMON ELEMENTS

**UNIT BOUNDARY DEFINITION**

THE MONUMENTS CONTROLLING THE EXTENT AND LOCATION OF THE UNITS ARE THE WALLS, FLOORS AND CEILINGS AS MORE PARTICULARLY DESCRIBED IN THE DECLARATION (SEE SCHEDULE "C")

**CERTIFICATE OF DECLARANT**

THIS IS TO CERTIFY THAT THE PROPERTY INCLUDED IN THIS PLAN HAS BEEN LAID OUT INTO UNITS AND COMMON ELEMENTS IN ACCORDANCE WITH OUR INSTRUCTIONS

**OWNER:**  
**OMNIUM AT CITY CENTRE INC.**

DATED THIS 2nd DAY OF April, 2004.

*[Signature]*  
 TONY WOOD  
 Authorized Signing Officer  
 I Have the Authority to Bind The Corporation

*[Signature]*  
 GEOFFREY GRAVHURST  
 Authorized Signing Officer  
 I Have the Authority to Bind The Corporation

**PEEL STANDARD CONDOMINIUM PLAN No. 712  
 PART 1 OF 4 PARTS  
 SHEET 24 OF 28 SHEETS**

**LEVEL A  
 UNITS 1 to 302, inclusive**

REGISTERED IN THE LAND REGISTRY OFFICE FOR THE LAND TITLES DIVISION OF PEEL (No.43) AT BRAMPTON AT 4:16 O'CLOCK ON THE 17th DAY OF June, 2004.  
 DATE

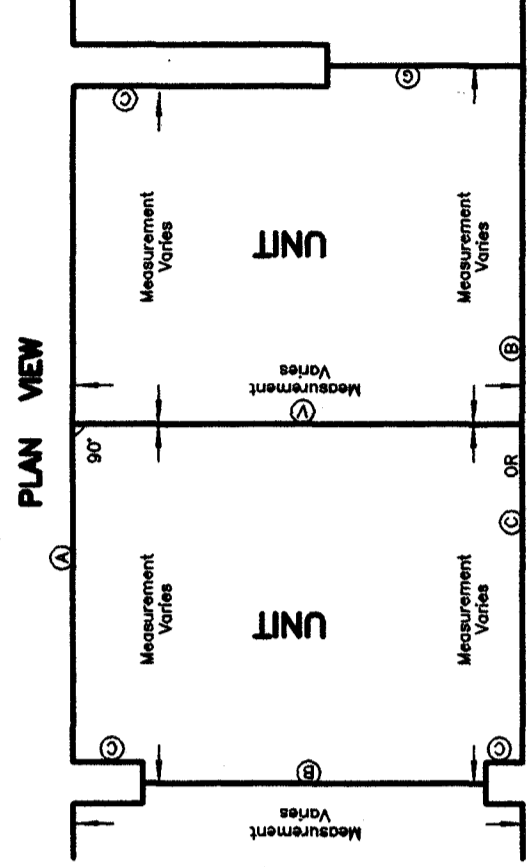
*[Signature]*  
 ASST. DEP. LAND REGISTRAR

**SURVEYOR'S CERTIFICATE**

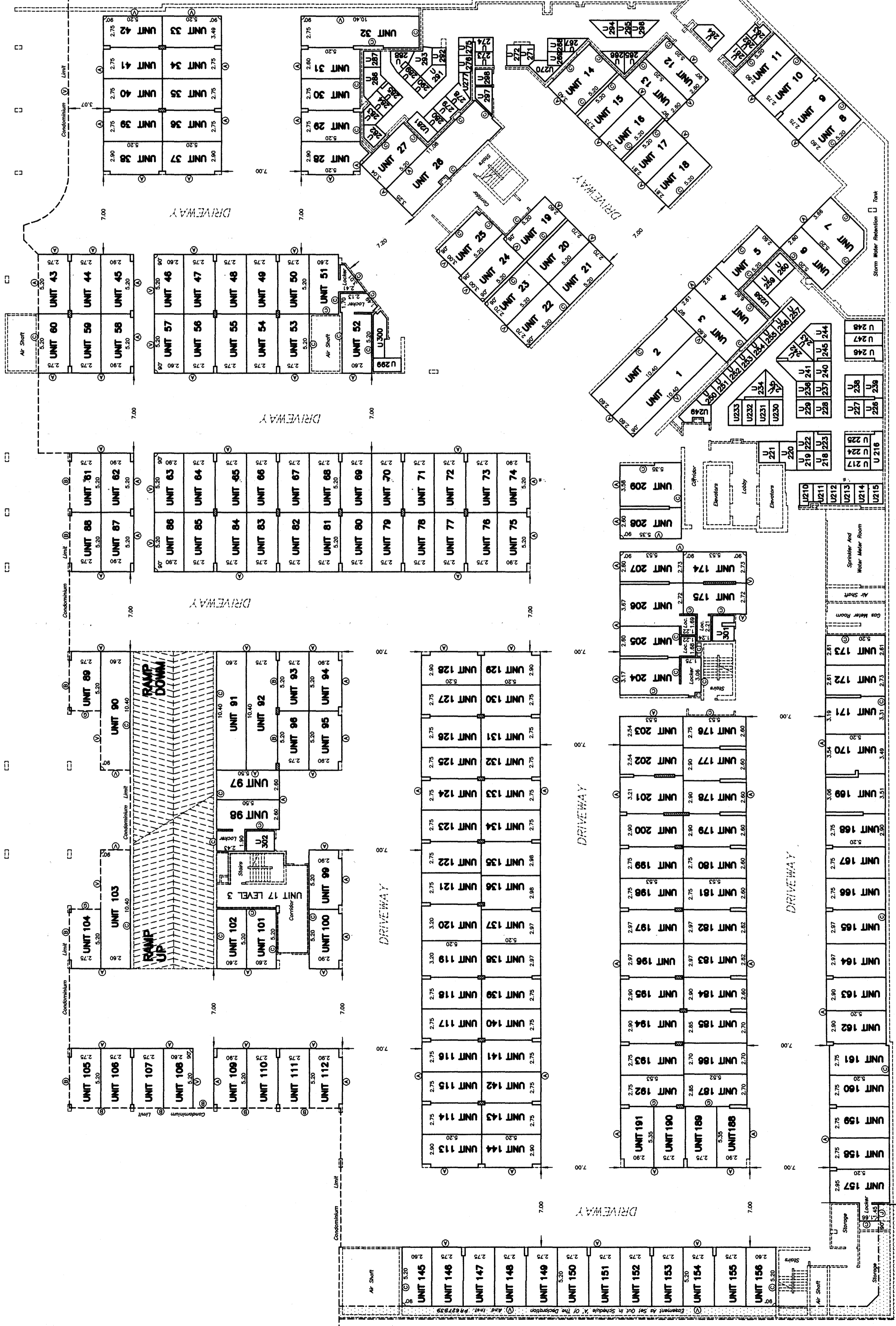
- I CERTIFY THAT :
- 1) THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE CONDOMINIUM ACT 1998, THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
  - 2) THIS SURVEY WAS COMPLETED ON THE 12th DAY OF March, 2004.
  - 3) THE DIAGRAMS OF THE UNITS SHOWN ON THIS PLAN ARE SUBSTANTIALLY ACCURATE.
- DATED THIS 2nd DAY OF April, 2004.

*[Signature]*  
 P. HOFMANN  
 Ontario Land Surveyor

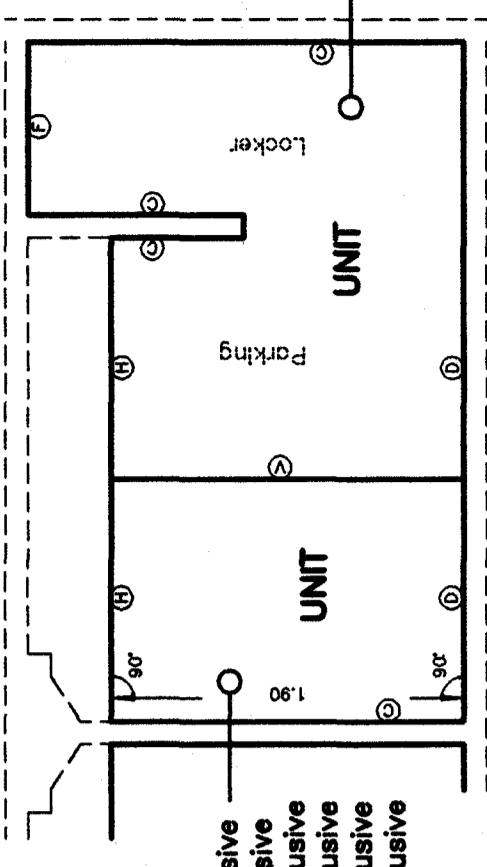
DECLARATION REGISTERED AS No. **PR058414**



**ILLUSTRATION OF UNIT BOUNDARIES TYPICAL OF UNITS : 1 to 209 inclusive**  
 (NOT TO SCALE)



**VERTICAL SECTION**

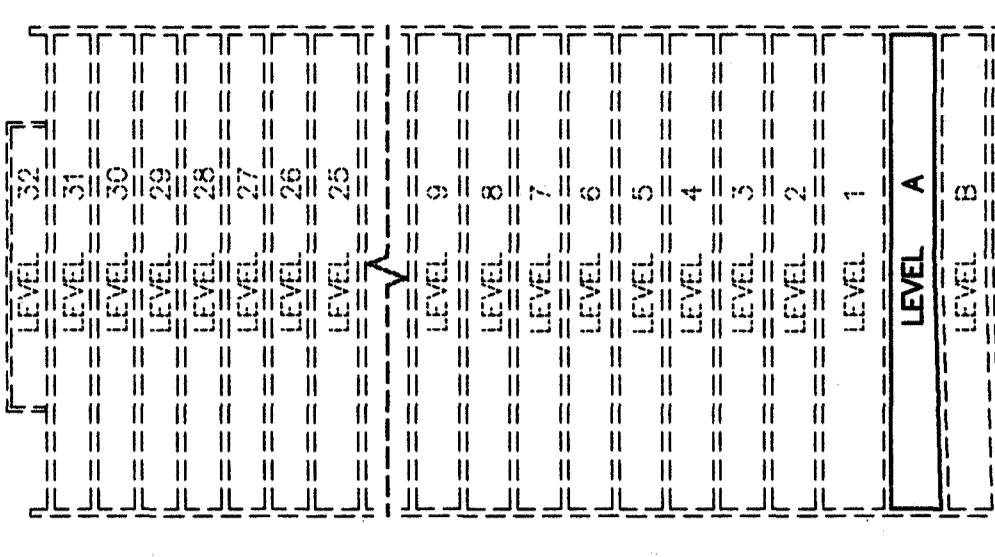


TYPICAL OF UNITS :  
 1 to 50 inclusive  
 53 to 97 inclusive  
 99 to 156 inclusive  
 158 to 174 inclusive  
 176 to 203 inclusive  
 207 to 209 inclusive

TYPICAL OF UNITS: 51,52,98, 157,175,204, 205 and 206

**SECTION TO ILLUSTRATE UNIT BOUNDARIES**  
 (NOT TO SCALE)

**SECTION TO ILLUSTRATE THE VERTICAL RELATIONSHIP OF LEVELS**  
 (Not To Scale)



**I.M. PASTUSHAK LIMITED**  
 ONTARIO LAND SURVEYORS  
 SUITE 105-4800 DUFFERIN STREET  
 DOWNSVIEW ONTARIO  
 (416) 661-1463  
 Fax : (416) 661-1249



**METRIC :** DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**PLAN OF SURVEY**  
**SHOWING THE SPECIFICATIONS AND RELATIONSHIP BETWEEN THE BOUNDARIES OF UNITS AND THE MONUMENTATION ON LEVEL B**

SCALE : 1:200  
 0m 5m 10m 15 metres

P. HOFMANN, O.L.S.  
 2004.

FOR ENLARGEMENT OF UNITS 214 TO 340  
 SEE SHEET 27 OF 28 SHEETS

**CERTIFICATE OF DECLARANT**

THIS IS TO CERTIFY THAT THE PROPERTY INCLUDED IN THIS PLAN HAS BEEN LAD OUT INTO UNITS AND COMMON ELEMENTS IN ACCORDANCE WITH OUR INSTRUCTIONS

**OWNER:**  
 OMAION AT CITY CENTRE INC.

DATED THIS 2nd DAY OF April, 2004.

*[Signature]*  
 JEFFREY GRAYHURST  
 Authorized Signing Officer  
 I Have The Authority To Bind The Corporation

*[Signature]*  
 P. HOFMANN  
 Ontario Land Surveyor  
 I Have The Authority To Bind The Corporation

- NOTES**
- ⊙ DENOTES LINE OF FACE OF CONCRETE COLUMNS OR WALLS
  - ⊙ DENOTES VERTICAL PLANE JOINING CENTRE LINE OF CONCRETE COLUMNS AND ITS PRODUCTION
  - ⊙ DENOTES LINE AND FACE OF CONCRETE, CONCRETE BLOCK, WALL OR COLUMN
  - ⊙ DENOTES UNFINISHED UPPER SURFACE OF CONCRETE FLOOR SLAB
  - ⊙ DENOTES UNFINISHED LOWER SURFACE OF CONCRETE CEILING SLAB
  - ⊙ DENOTES VERTICAL PLANE ESTABLISHED BY THE CENTRE
  - ⊙ DENOTES LINE OF COLUMN AND MEASUREMENT
  - ⊙ DENOTES HORIZONTAL PLANE CONTROLLED BY MEASUREMENTS
  - ⊙ DENOTES UNIT SIDE FACE OF WIRE MESH PANELS
  - ⊙ DENOTES VERTICAL PLANE CONTROLLED BY MEASUREMENTS
  - DENOTES BOUNDARY OF UNIT
  - DENOTES A TYPICAL DESIGNATION OF THE COMMON ELEMENT
  - DENOTES PART OF THE COMMON ELEMENTS

**UNIT BOUNDARY DEFINITION**  
 THE MONUMENTS CONTROLLING THE EXTENT AND LOCATION OF THE UNITS ARE THE WALLS, FLOORS AND CEILINGS AS MORE PARTICULARLY DESCRIBED IN THE DECLARATION (SEE SCHEDULE "C")

**PEEL STANDARD CONDOMINIUM PLAN No. 712**  
**PART 1 OF 4 PARTS**  
**SHEET 25 OF 28 SHEETS**

**LEVEL B**  
**UNITS 1 to 341, inclusive**

REGISTERED IN THE LAND REGISTRY OFFICE FOR THE LAND TITLES DIVISION OF PEEL (No.43) AT BRAMPTON AT 4:16 O'CLOCK ON THE 17th DAY OF June, 2004.

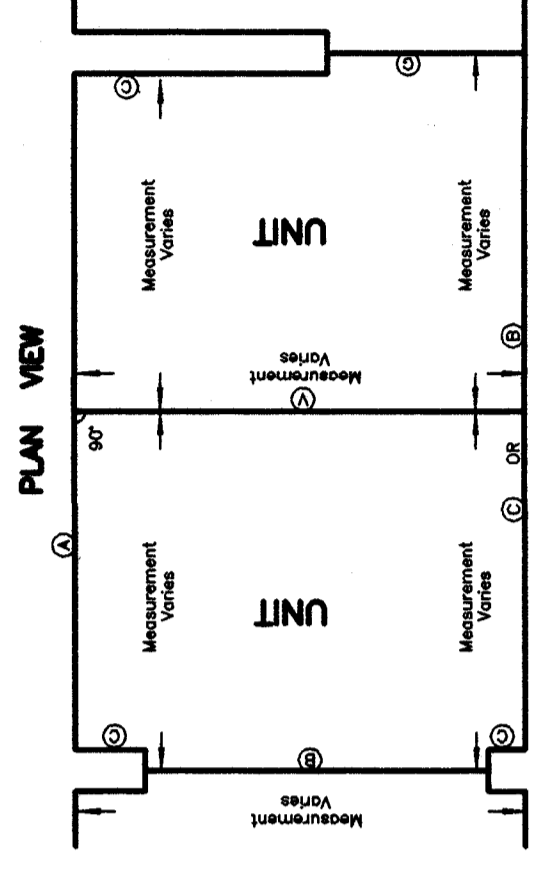
DATE  
 ASST. DEP. LAND REGISTRAR  
*[Signature]*

**SURVEYOR'S CERTIFICATE**

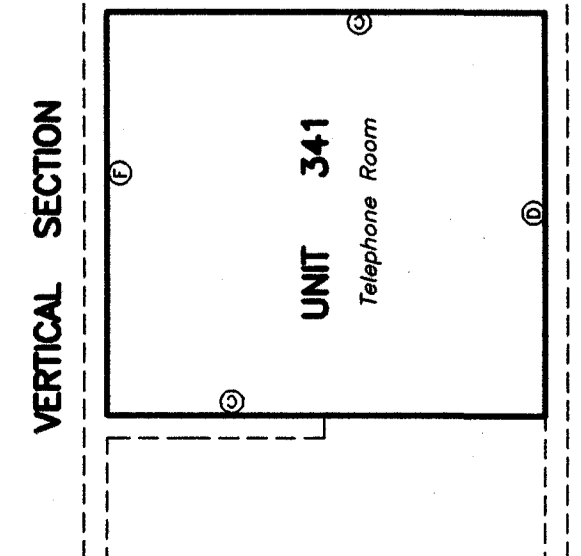
- I CERTIFY THAT :
- 1) THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE CONDOMINIUM ACT 1998, THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
  - 2) THIS SURVEY WAS COMPLETED ON THE 12th DAY OF March, 2004.
  - 3) THE DIAGRAMS OF THE UNITS SHOWN ON THIS PLAN ARE SUBSTANTIALLY ACCURATE. DATED THIS 2nd DAY OF April, 2004.

*[Signature]*  
 P. HOFMANN  
 Ontario Land Surveyor

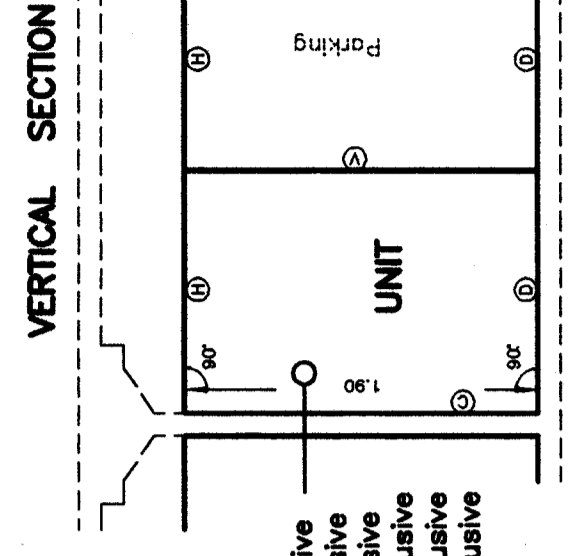
DECLARATION REGISTERED AS No. **PR658414**



**ILLUSTRATION OF UNIT BOUNDARIES TYPICAL OF UNITS : 1 to 213 inclusive**  
 (NOT TO SCALE)



**ILLUSTRATION OF UNIT BOUNDARIES TYPICAL OF UNIT 341**  
 (NOT TO SCALE)



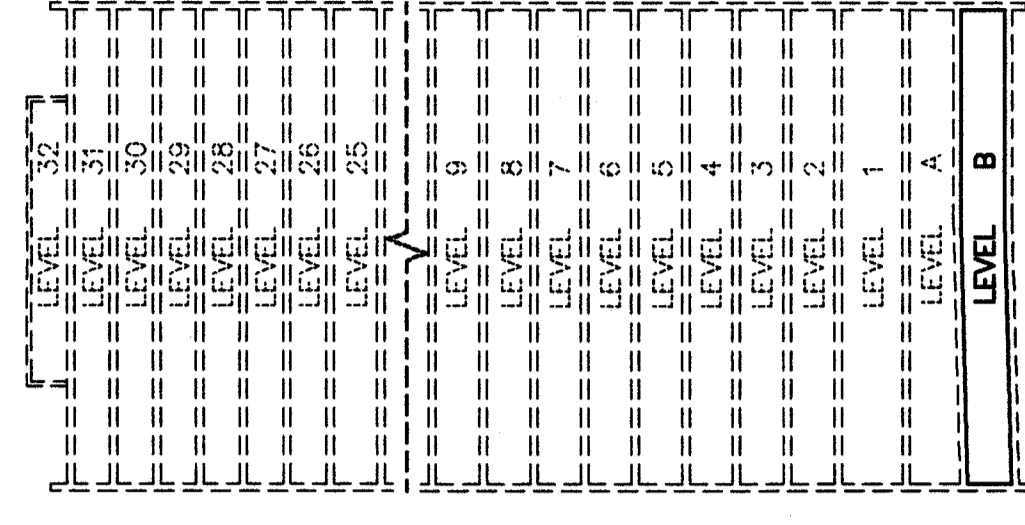
**TYPICAL OF UNITS :**  
 1 to 5 inclusive  
 8 to 50 inclusive  
 53 to 99 inclusive  
 101 to 178 inclusive  
 180 to 207 inclusive  
 211 to 213 inclusive

**SECTION TO ILLUSTRATE UNIT BOUNDARIES**  
 (NOT TO SCALE)

**TYPICAL OF UNITS: 6,7,51,52, 100,179,208, 209 and 210**

Note: Locker portion for the above said units are bounded by the line and face of concrete, concrete block wall or column unless otherwise noted.

**SECTION TO ILLUSTRATE THE VERTICAL RELATIONSHIP OF LEVELS**  
 (Not To Scale)



**I.M. PASTUSHAK LIMITED**  
 ONTARIO LAND SURVEYORS  
 SUITE 105-4800 DUFFERIN STREET  
 DOWNSVIEW, ONTARIO  
 (416) 661-1463  
 Fax : (416) 661-1249

**METRIC :** DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**PLAN OF SURVEY**  
**SHOWING DETAILS OF**  
**UNITS 210 to 302 inclusive, LEVEL A**  
**NOT TO SCALE**  
**P. HOFMANN, O.L.S.**  
**2004.**

**NOTES**

- DENOTES LINE OF FACE OF CONCRETE COLUMNS OR WALLS
- DENOTES BACKSIDE FACE OF DRYWALL
- DENOTES LINE AND FACE OF CONCRETE, CONCRETE BLOCK, WALL OR COLUMN
- DENOTES UNFINISHED UPPER SURFACE OF CONCRETE FLOOR SLAB
- DENOTES UNFINISHED LOWER SURFACE OF CONCRETE CEILING SLAB
- DENOTES VERTICAL PLANE ESTABLISHED BY THE CENTRE
- DENOTES LINE OF COLUMN AND MEASUREMENT
- DENOTES HORIZONTAL PLANE CONTROLLED BY MEASUREMENTS
- DENOTES UNIT SIDE FACE OF WIRE MESH PANELS
- DENOTES VERTICAL PLANE CONTROLLED BY MEASUREMENTS
- DENOTES BOUNDARY OF UNIT
- - - DENOTES A TYPICAL DESIGNATION OF THE COMMON ELEMENT
- ▨ DENOTES PART OF THE COMMON ELEMENTS

**SURVEYOR'S CERTIFICATE**

I CERTIFY THAT THE DIAGRAMS OF THE UNITS SHOWN ON THIS PLAN ARE SUBSTANTIALLY ACCURATE.  
 DATED THIS 2nd DAY OF April, 2004.

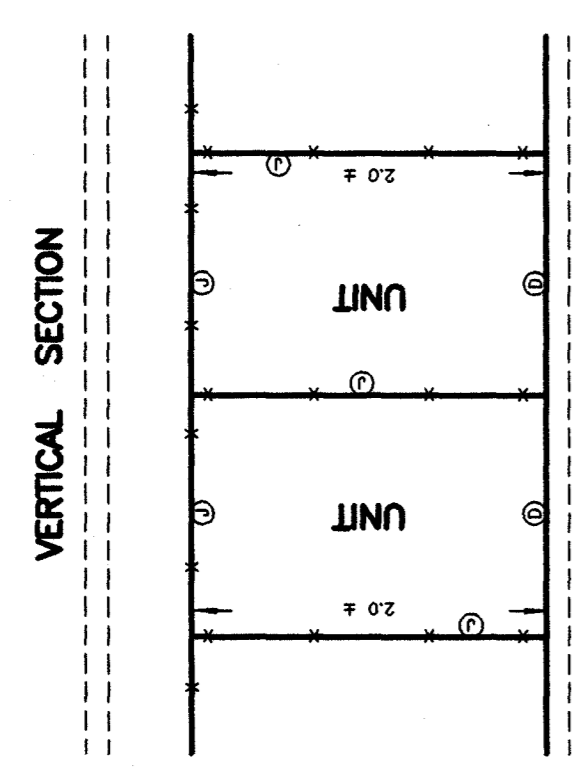
*P. Hofmann*  
 P. HOFMANN  
 Ontario Land Surveyor

**CERTIFICATE OF DECLARANT**

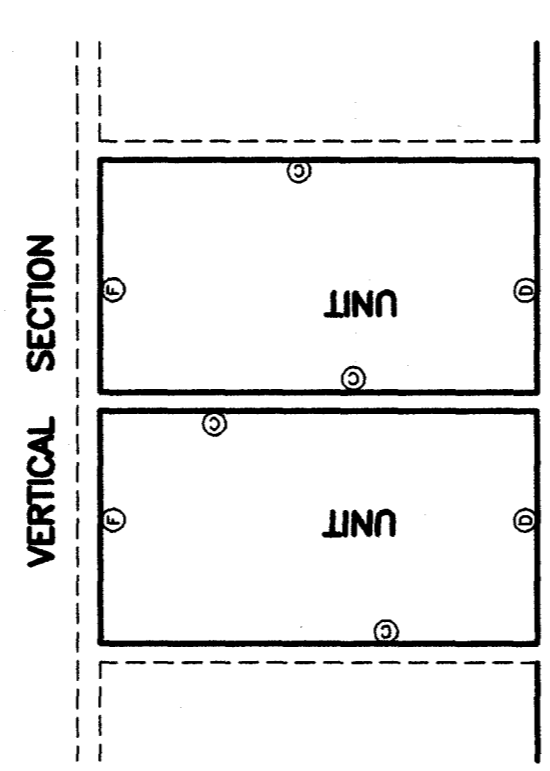
THIS IS TO CERTIFY THAT THE PROPERTY INCLUDED IN THIS PLAN HAS BEEN LAID OUT INTO UNITS AND COMMON ELEMENTS IN ACCORDANCE WITH OUR INSTRUCTIONS.  
 OWNER: **OMATION AT CITY CENTRE INC.**  
 DATED THIS 2nd DAY OF April, 2004.

*[Signature]*  
 GEOFFREY GRAYHURST  
 Authorized Signing Officer  
 I Have The Authority To Bind The Corporation

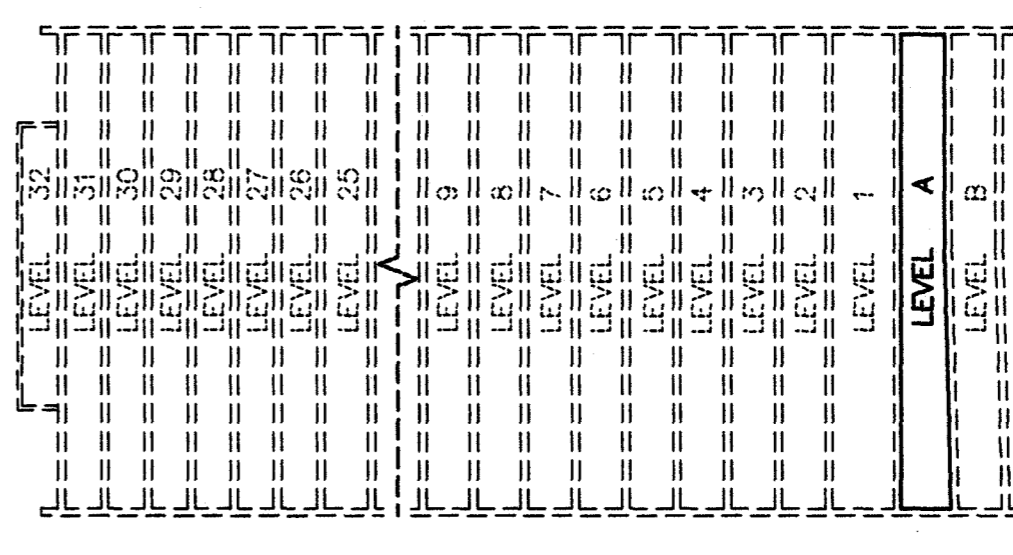
**PEEL STANDARD CONDOMINIUM PLAN No. 712**  
**PART 1 OF 4 PARTS**  
**SHEETS 26 OF 28 SHEETS**



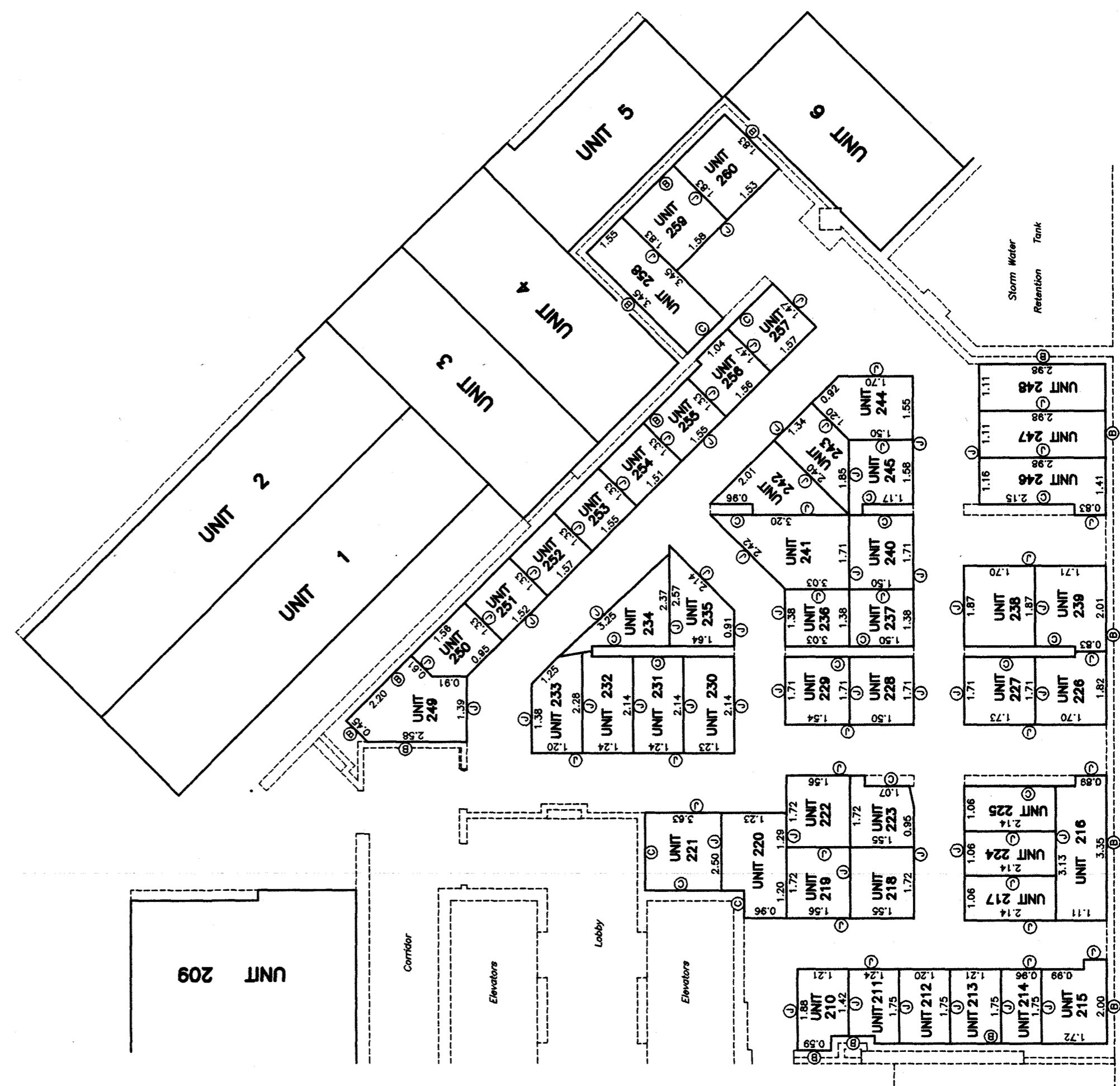
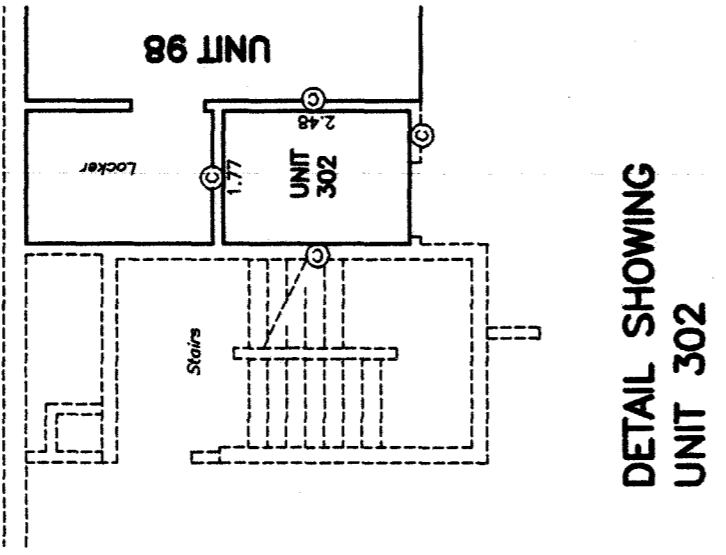
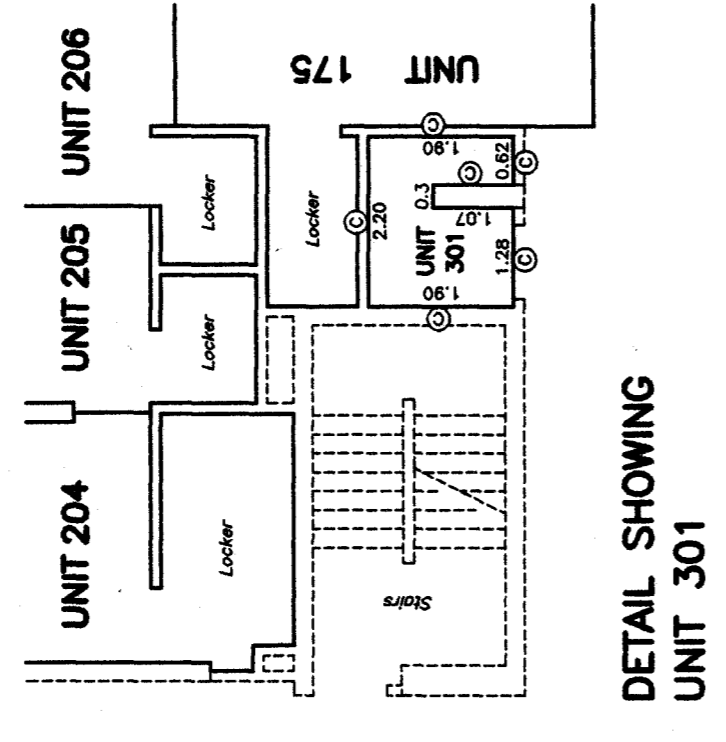
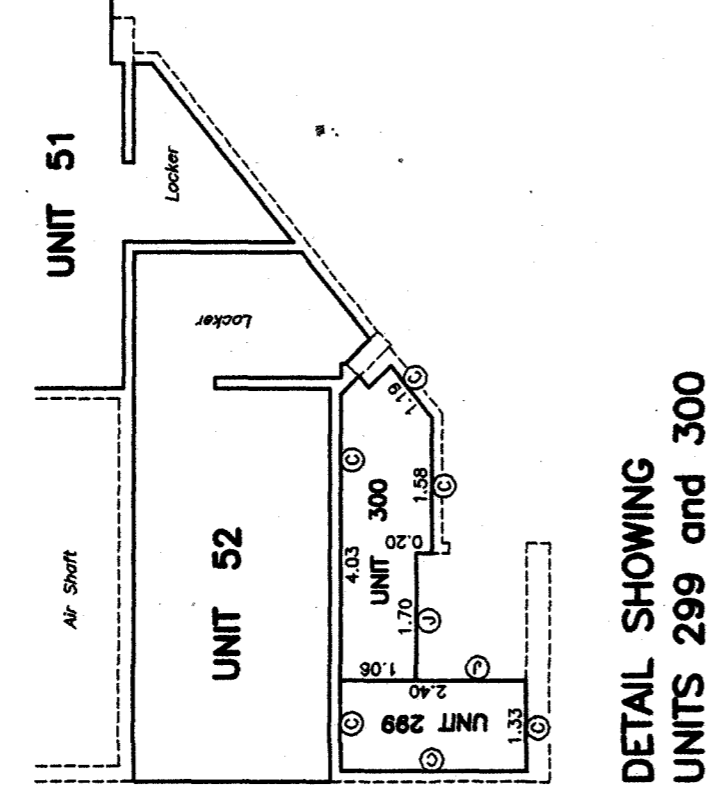
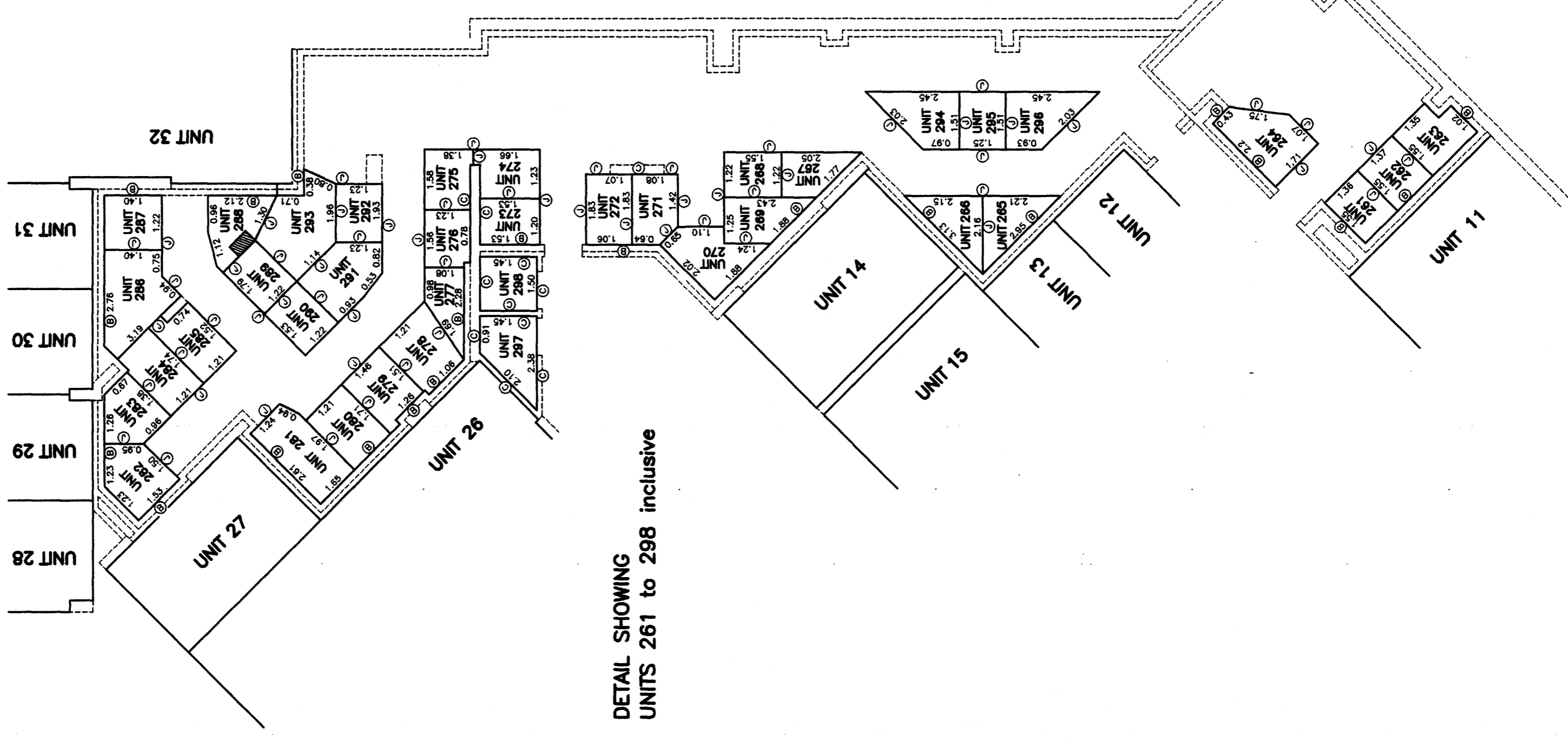
**SECTION TO ILLUSTRATE UNIT BOUNDARIES TYPICAL OF UNITS : 210 to 296 inclusive**  
 UNITS : 299 and 300  
 (NOT TO SCALE)



**SECTION TO ILLUSTRATE UNIT BOUNDARIES TYPICAL OF UNITS : 297, 298, 301 and 302**



**SECTION TO ILLUSTRATE THE VERTICAL RELATIONSHIP OF LEVELS**  
 (Not To Scale)



**DETAIL SHOWING UNITS 210 to 260 inclusive**



**METRIC :** DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**PLAN OF SURVEY**

**SHOWING DETAILS OF**

**UNITS 214 to 340 inclusive, LEVEL B**

**NOT TO SCALE**

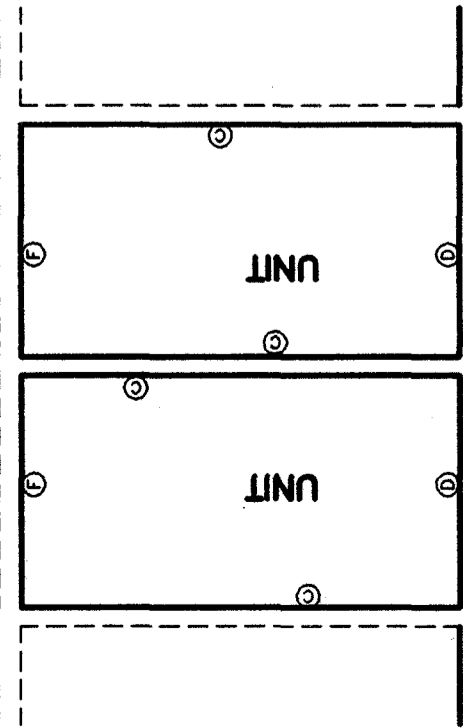
**P. HOFMANN, O.L.S.**

**2004.**

**NOTES**

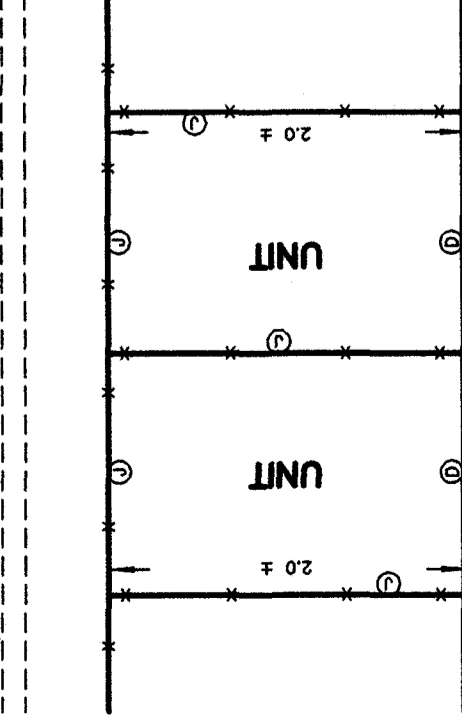
- ⊙ DENOTES LINE OF FACE OF CONCRETE COLUMNS OR WALLS
- ⊙ DENOTES BACKSIDE FACE OF DRYWALL
- ⊙ DENOTES LINE AND FACE OF CONCRETE, CONCRETE BLOCK WALL OR COLUMN
- ⊙ DENOTES UNFINISHED UPPER SURFACE OF CONCRETE FLOOR SLAB
- ⊙ DENOTES UNFINISHED LOWER SURFACE OF CONCRETE CEILING SLAB
- ⊙ DENOTES VERTICAL PLANE ESTABLISHED BY THE CENTRE
- ⊙ DENOTES LINE OF COLUMN AND MEASUREMENT
- ⊙ DENOTES HORIZONTAL PLANE CONTROLLED BY MEASUREMENTS
- ⊙ DENOTES UNIT SIDE FACE OF WIRE MESH PANELS
- ⊙ DENOTES VERTICAL PLANE CONTROLLED BY MEASUREMENTS
- DENOTES BOUNDARY OF UNIT
- - - DENOTES A TYPICAL DESIGNATION OF THE COMMON ELEMENT
- ▨ DENOTES PART OF THE COMMON ELEMENTS

**VERTICAL SECTION**



**SECTION TO ILLUSTRATE UNIT BOUNDARIES TYPICAL OF UNITS : 335, 336, 339 and 340**

**VERTICAL SECTION**



**SECTION TO ILLUSTRATE UNIT BOUNDARIES TYPICAL OF UNITS : 214 to 334 inclusive UNITS : 337 and 338 (NOT TO SCALE)**

**PEEL STANDARD CONDOMINIUM PLAN No. 712**

**PART 1 OF 4 PARTS SHEETS 27 OF 28 SHEETS**

**SURVEYOR'S CERTIFICATE**

I CERTIFY THAT THE DIAGRAMS OF THE UNITS SHOWN ON THIS PLAN ARE SUBSTANTIALLY ACCURATE.

DATED THIS 2nd DAY OF April, 2004.

*P. Hofmann*  
P. HOFMANN  
Ontario Land Surveyor

**CERTIFICATE OF DECLARANT**

THIS IS TO CERTIFY THAT THE PROPERTY INCLUDED IN THIS PLAN HAS BEEN LAID OUT INTO UNITS AND COMMON ELEMENTS IN ACCORDANCE WITH OUR INSTRUCTIONS

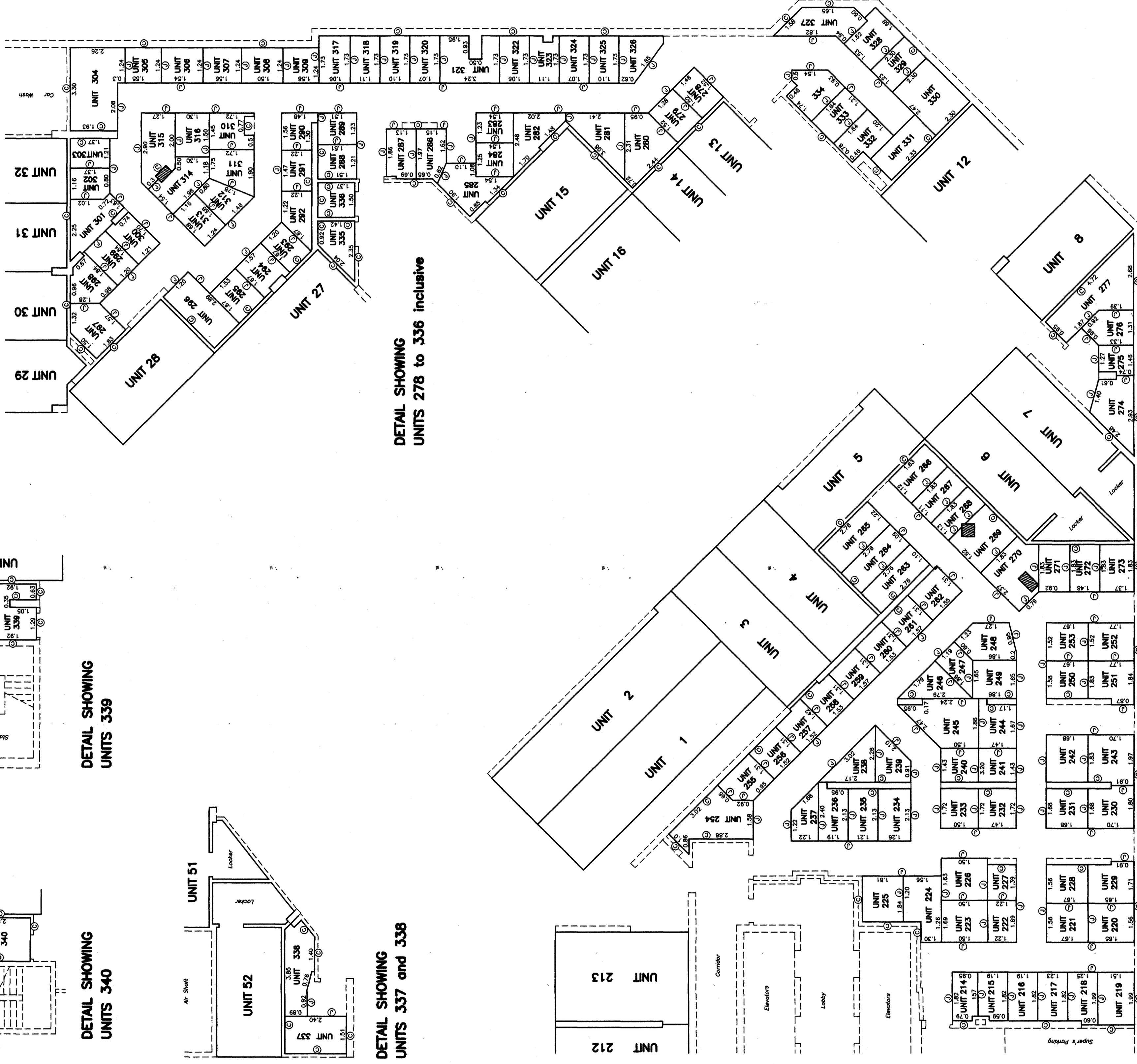
**OWNER:**

**OVATION AT CITY CENTRE INC.**

DATED THIS 2nd DAY OF April, 2004.

*[Signature]*  
Authorized Signing Officer  
I Have The Authority To Bind The Corporation

*[Signature]*  
GEOFFREY GRAYHURST  
Authorized Signing Officer  
I Have The Authority To Bind The Corporation



**SECTION TO ILLUSTRATE THE VERTICAL RELATIONSHIP OF LEVELS**  
(Not To Scale)

LEVEL 31	1.89
LEVEL 30	1.88
LEVEL 29	1.87
LEVEL 28	1.86
LEVEL 27	1.85
LEVEL 26	1.84
LEVEL 25	1.83
LEVEL 24	1.82
LEVEL 23	1.81
LEVEL 22	1.80
LEVEL 21	1.79
LEVEL 20	1.78
LEVEL 19	1.77
LEVEL 18	1.76
LEVEL 17	1.75
LEVEL 16	1.74
LEVEL 15	1.73
LEVEL 14	1.72
LEVEL 13	1.71
LEVEL 12	1.70
LEVEL 11	1.69
LEVEL 10	1.68
LEVEL 9	1.67
LEVEL 8	1.66
LEVEL 7	1.65
LEVEL 6	1.64
LEVEL 5	1.63
LEVEL 4	1.62
LEVEL 3	1.61
LEVEL 2	1.60
LEVEL 1	1.59
LEVEL A	1.58
LEVEL B	1.57

**DETAIL SHOWING UNITS 214 to 277 inclusive**

**DETAIL SHOWING UNITS 278 to 336 inclusive**

**DETAIL SHOWING UNITS 339**

**DETAIL SHOWING UNITS 340**

**DETAIL SHOWING UNITS 337 and 338**

**METRIC :** DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**PEEL STANDARD CONDOMINIUM PLAN No. 712**

**PART 1 OF 4 PARTS  
SHEETS 28 OF 28 SHEETS**

**CERTIFICATE OF DECLARANT**

THIS IS TO CERTIFY THAT THE PROPERTY INCLUDED IN THIS PLAN HAS BEEN LAD OUT INTO UNITS AND COMMON ELEMENTS IN ACCORDANCE WITH OUR INSTRUCTIONS

**OWNER:**  
OVATION AT CITY CENTRE INC.

DATED THIS 2nd DAY OF April, 2004.

*[Signature]*  
GEOFFREY GRATHURST  
Authorized Signing Officer  
I Have The Authority To Bind The Corporation

**SURVEYOR'S CERTIFICATE**

I CERTIFY THAT THE DIAGRAMS OF THE UNITS SHOWN ON THIS PLAN ARE SUBSTANTIALLY ACCURATE.

DATED THIS 2nd DAY OF April, 2004.

*[Signature]*  
P. HOFMANN  
Ontario Land Surveyor  
I Have The Authority To Bind The Corporation

**NOTES**

- ⊙ DENOTES LINE OF FACE OF CONCRETE COLUMNS OR WALLS
- ⊙ DENOTES BACKSIDE FACE OF DRYWALL
- ⊙ DENOTES LINE AND FACE OF CONCRETE, CONCRETE BLOCK, WALL OR COLUMN
- ⊙ DENOTES UNFINISHED UPPER SURFACE OF CONCRETE FLOOR SLAB
- ⊙ DENOTES UNFINISHED LOWER SURFACE OF CONCRETE CEILING SLAB
- ⊙ DENOTES VERTICAL PLANE ESTABLISHED BY THE CENTRE
- ⊙ DENOTES LINE OF COLUMN AND MEASUREMENT
- ⊙ DENOTES HORIZONTAL PLANE CONTROLLED BY MEASUREMENTS
- ⊙ DENOTES UNIT SIDE FACE OF WIRE MESH PANELS
- ⊙ DENOTES VERTICAL PLANE CONTROLLED BY MEASUREMENTS
- ⊙ DENOTES BOUNDARY OF UNIT
- ⊙ DENOTES A TYPICAL DESIGNATION OF THE COMMON ELEMENT
- ▨ DENOTES PART OF THE COMMON ELEMENTS

**PLAN OF SURVEY**

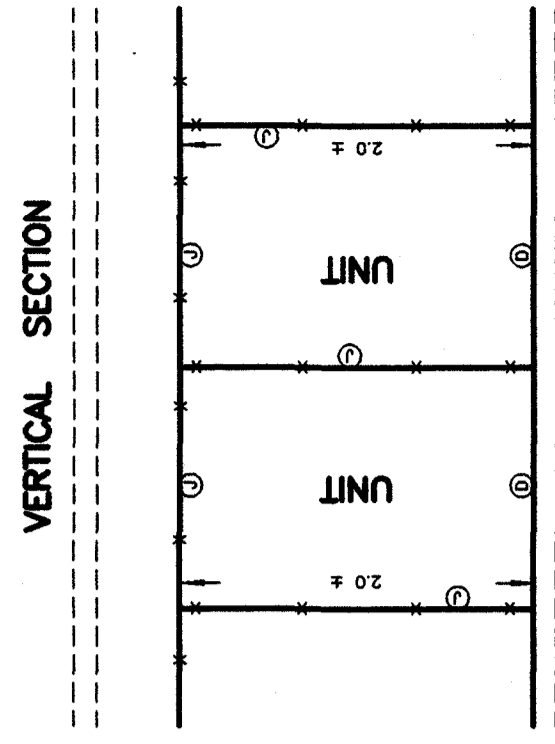
**SHOWING DETAILS OF**

**UNITS 129 to 181 inclusive, LEVEL 1**

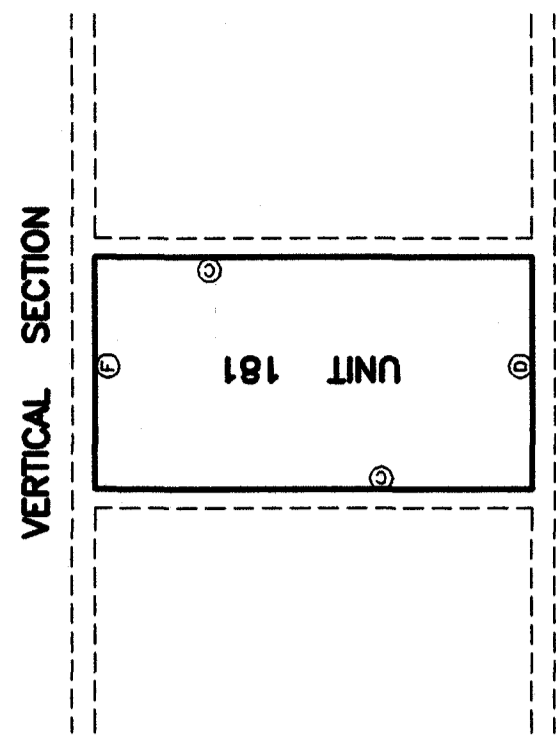
NOT TO SCALE

P. HOFMANN, O.L.S.

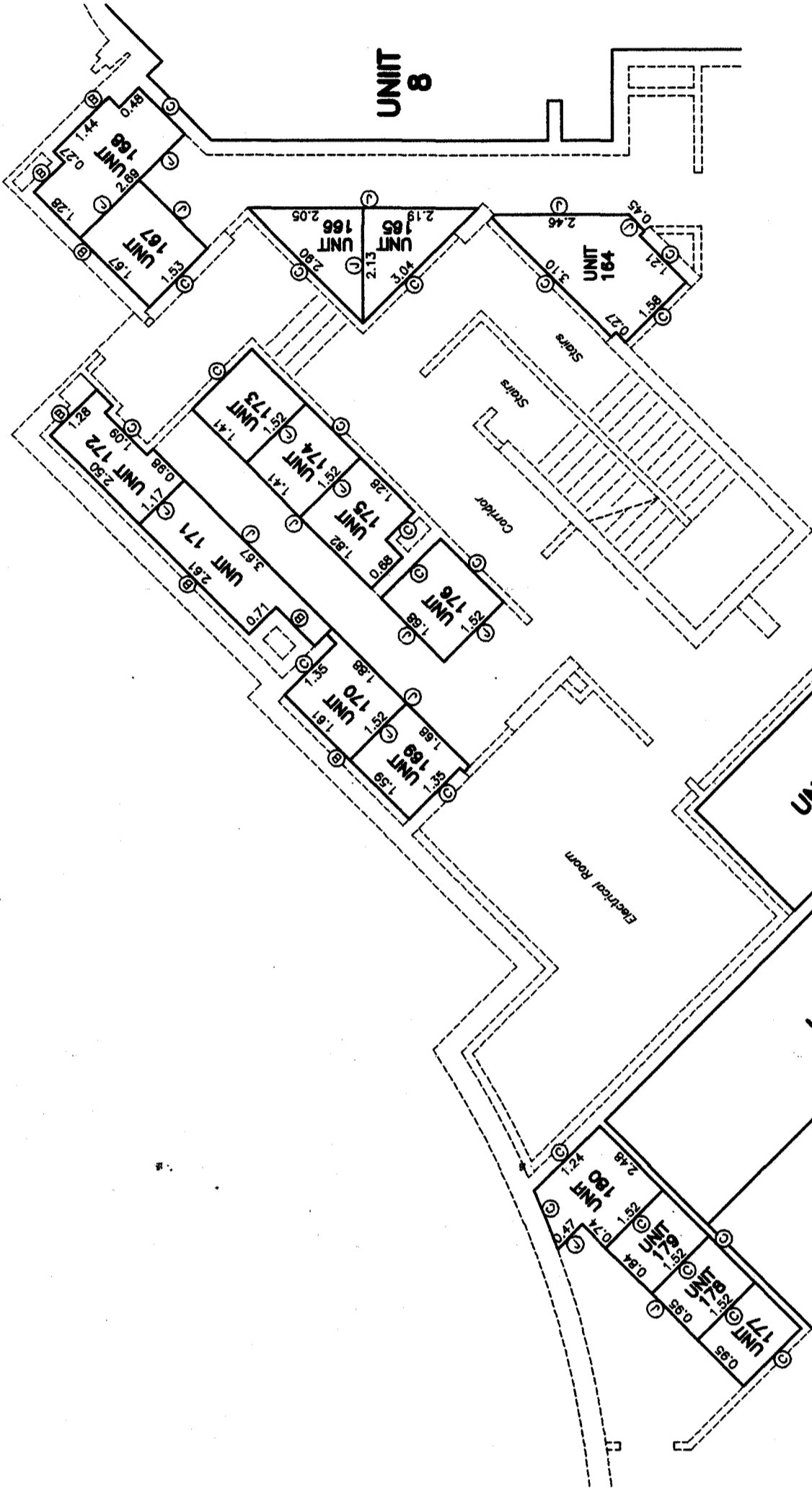
2004.



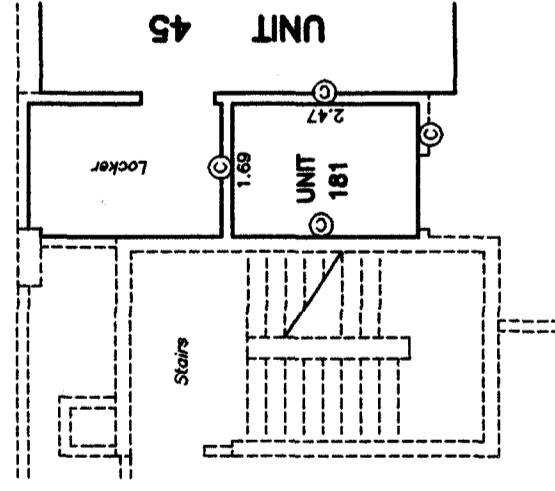
**SECTION TO ILLUSTRATE UNIT BOUNDARIES TYPICAL OF UNITS : 129 to 180 inclusive (NOT TO SCALE)**



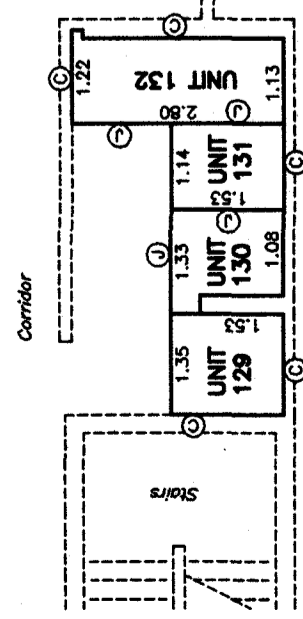
**SECTION TO ILLUSTRATE UNIT BOUNDARIES TYPICAL OF UNIT : 181**



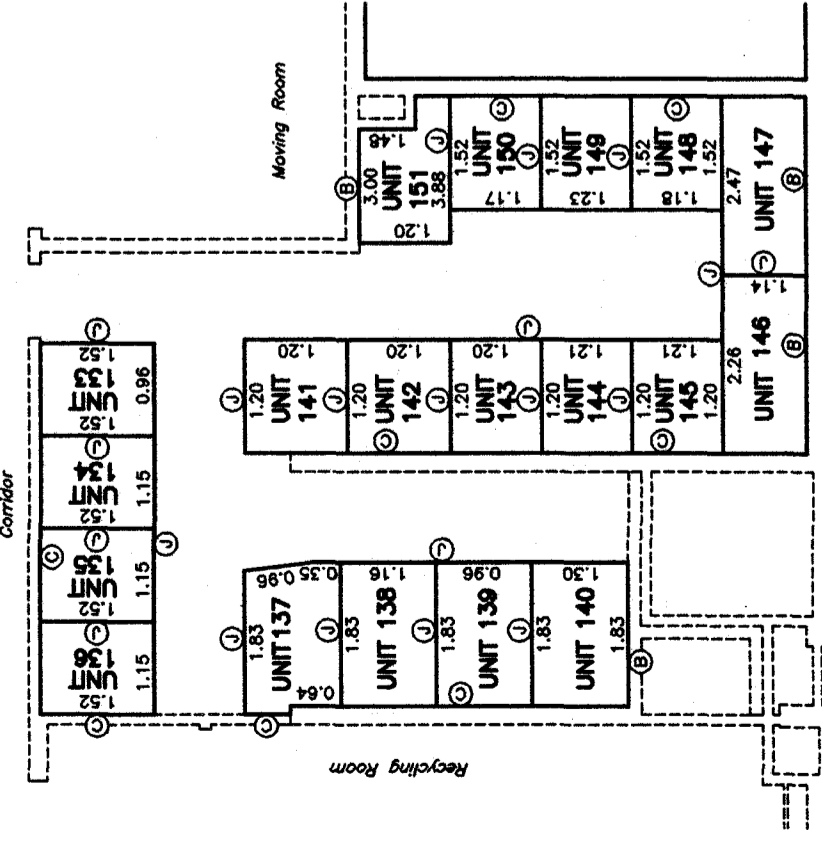
**DETAIL SHOWING UNITS 164 to 180 inclusive**



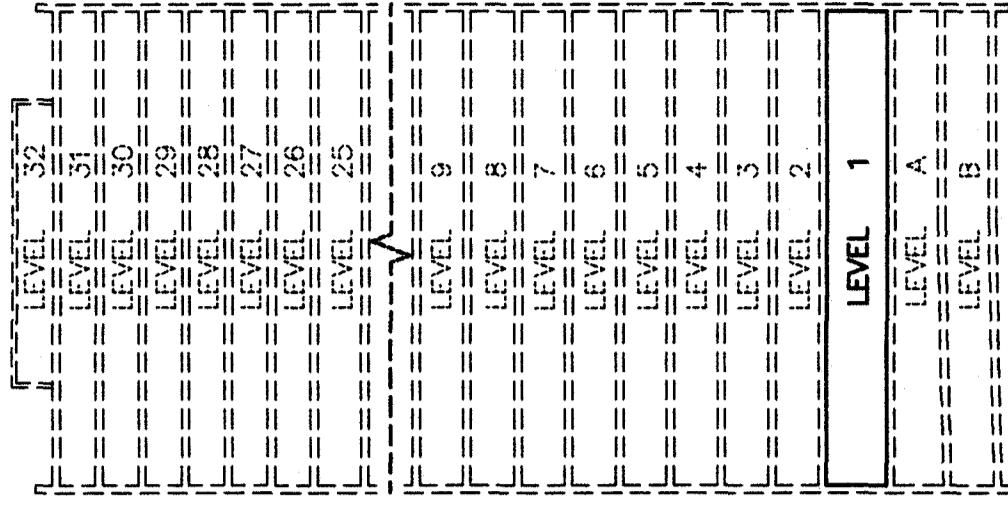
**DETAIL SHOWING UNIT 181**



**DETAIL SHOWING UNITS 129 to 132 inclusive**



**DETAIL SHOWING UNITS 133 to 151 inclusive**



**SECTION TO ILLUSTRATE THE VERTICAL RELATIONSHIP OF LEVELS (Not To Scale)**

**DETAIL SHOWING UNITS 152 to 163 inclusive**

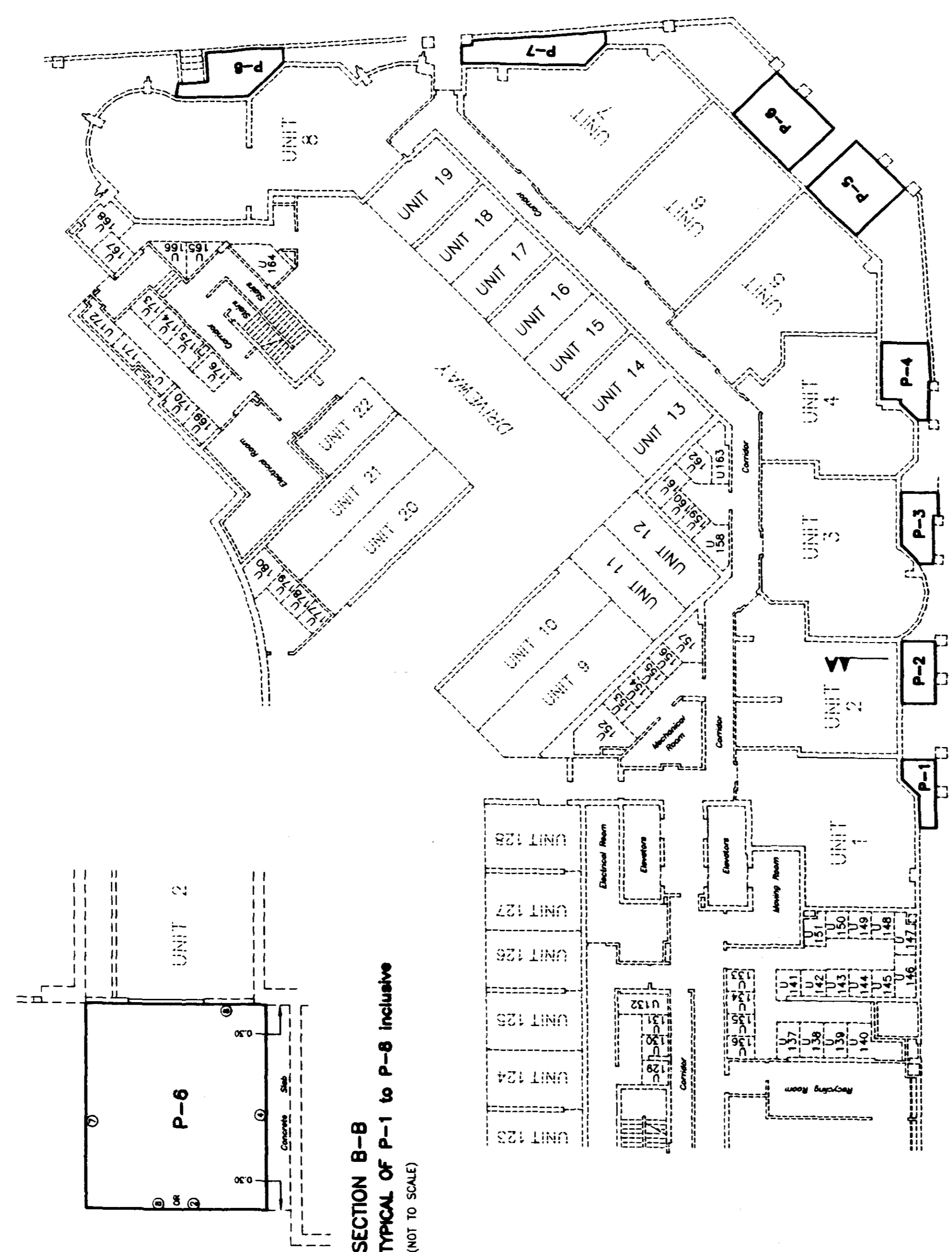


**METRIC :** DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**PLAN OF SURVEY SHOWING  
EXTENT AND LOCATION OF  
THE EXCLUSIVE USE PORTION  
OF THE COMMON ELEMENTS  
ON LEVEL 1**

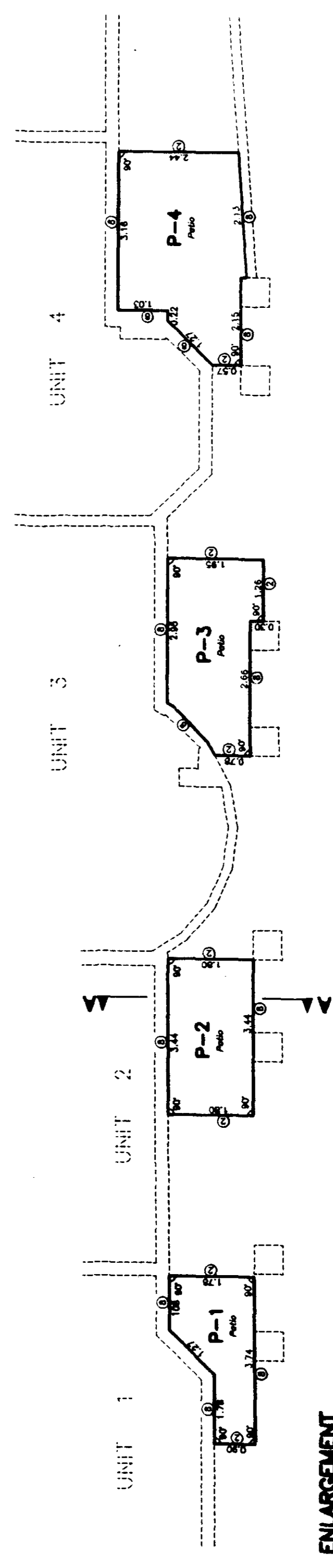
SCALE : 1:200  
0m 5m 10m 15 metres

**P. HOFMANN . O.L.S.**  
2004.

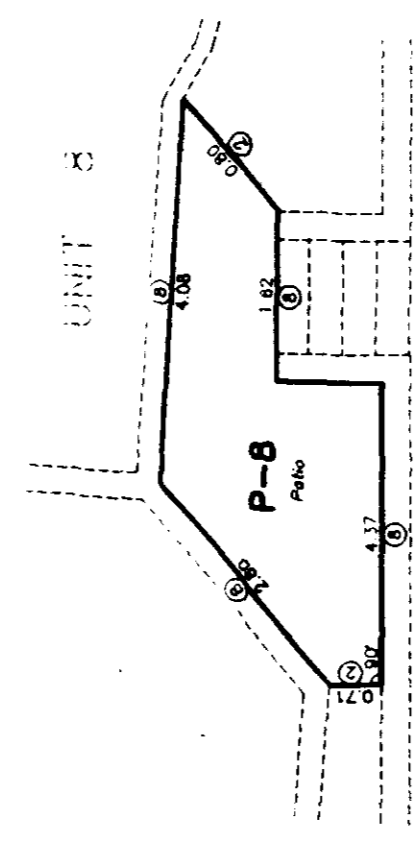


**SECTION B-B  
TYPICAL OF P-1 TO P-8 inclusive  
(NOT TO SCALE)**

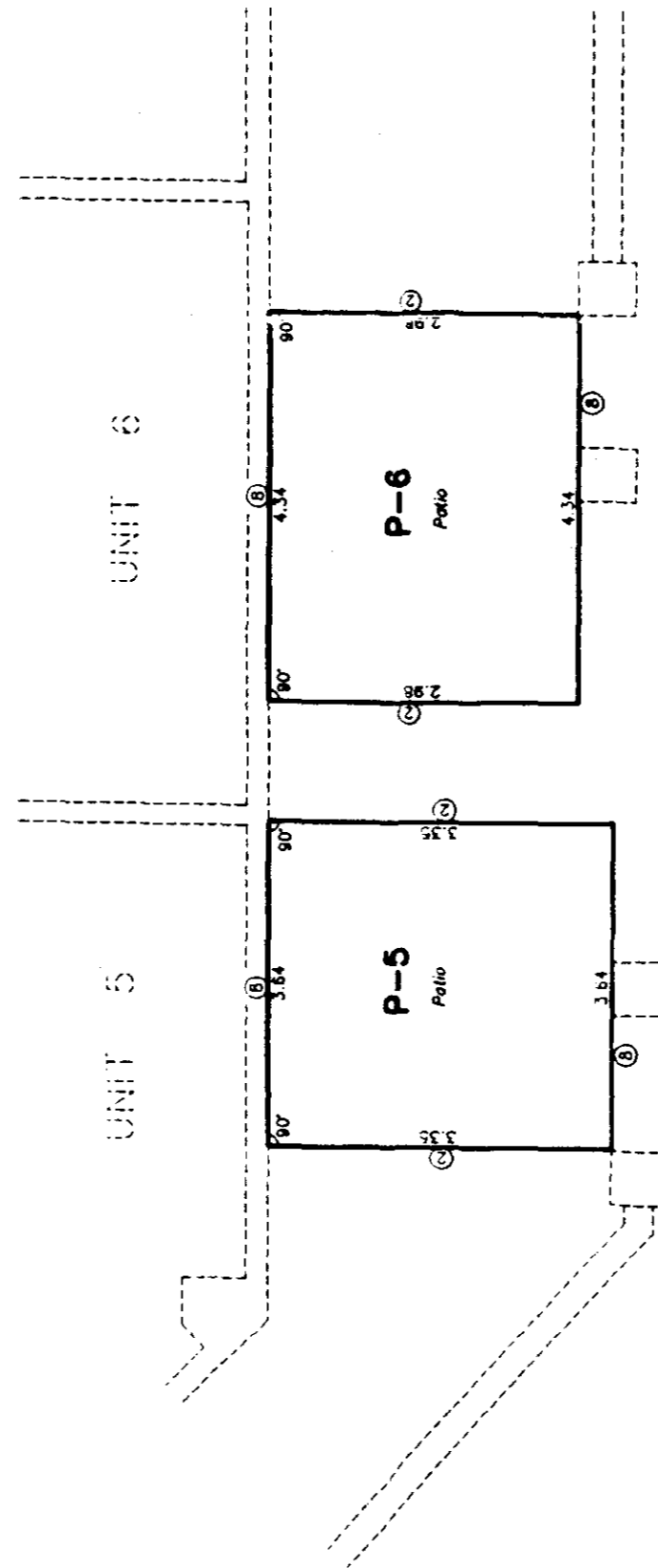
SEE ENLARGEMENT FOR DETAILS



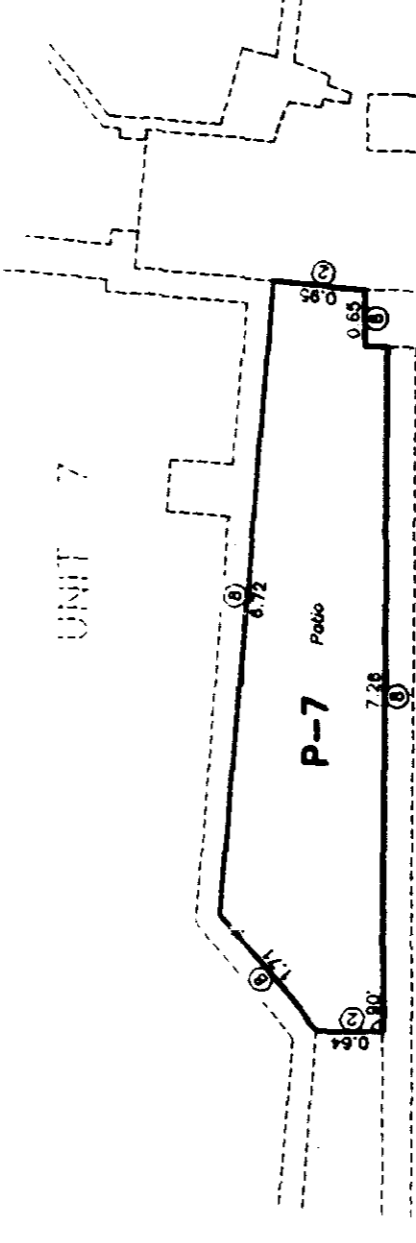
**ENLARGEMENT  
ILLUSTRATING P-1 TO P-4 inclusive**



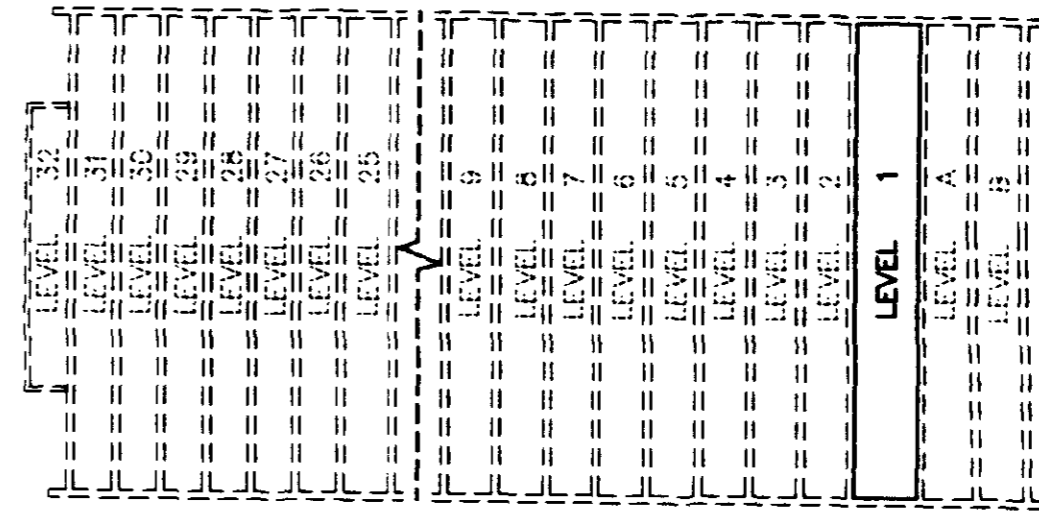
**ENLARGEMENT  
ILLUSTRATING P-8**



**ENLARGEMENT  
ILLUSTRATING P-5 and P-6**



**ENLARGEMENT  
ILLUSTRATING P-7**



**SECTION TO  
ILLUSTRATE THE  
VERTICAL  
RELATIONSHIP  
OF LEVELS  
(Not To Scale)**

**SURVEYOR'S CERTIFICATE  
EXCLUSIVE USE COMMON ELEMENTS**

I CERTIFY THAT THIS PLAN OF SURVEY ACCURATELY SHOWS THE EXTENT AND LOCATION OF THE EXCLUSIVE USE PORTIONS OF THE COMMON ELEMENTS

DATED THIS 2nd DAY OF April 2004.

*P. Hofmann*  
P. HOFMANN  
Ontario Land Surveyor

**PEEL STANDARD CONDOMINIUM PLAN No. 712  
PART 2 OF 4 PARTS  
SHEET 1 OF 2 SHEETS**

**I.M. PASTUSHAK LIMITED**  
ONTARIO LAND SURVEYORS  
SUITE 105-4600 DUFFERIN STREET  
DOWNSVIEW ONTARIO  
(416) 661-1463  
Fax: (416) 661-1249

**SURVEYOR'S CERTIFICATE**  
**EXCLUSIVE USE COMMON ELEMENTS**

I CERTIFY THAT THIS PLAN OF SURVEY ACCURATELY SHOWS THE EXTENT AND LOCATION OF THE EXCLUSIVE USE PORTIONS OF THE COMMON ELEMENTS

DATED THIS 2nd DAY OF April, 2004.

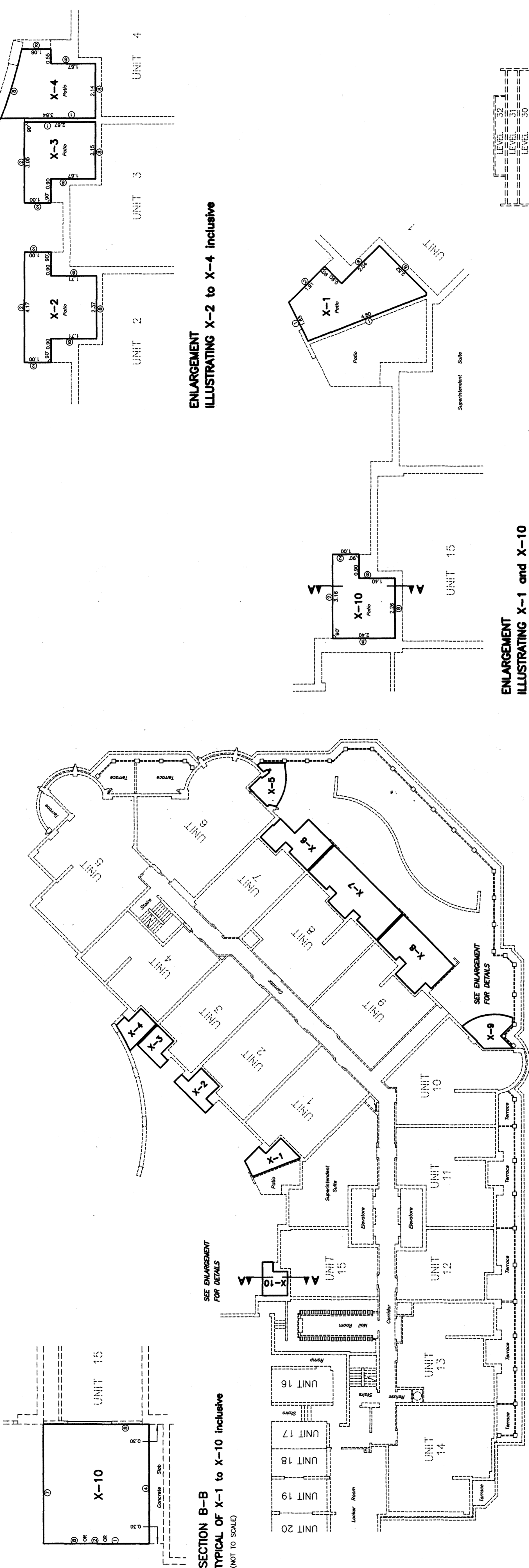
*P. Hofmann*  
P. HOFMANN  
Ontario Land Surveyor

- NOTES**
- X-1 DENOTES EXCLUSIVE USE PORTION OF THE COMMON ELEMENTS
  - ① DENOTES BOUNDARY OF THE EXCLUSIVE USE PORTION OF THE COMMON ELEMENTS
  - ② DENOTES UNIT SIDE FACE OF WOOD FENCE AND ITS PRODUCTION
  - ③ DENOTES VERTICAL PLANE CONTROLLED BY MEASUREMENT
  - ④ DENOTES UNFINISHED EXTERIOR SURFACE OF DOOR AND DOOR FRAME
  - ⑤ DENOTES HORIZONTAL PLANE CONTROLLED BY MEASUREMENT AND MEASURED PERPENDICULAR FROM THE UPPER SURFACE OF CONCRETE SLAB
  - ⑥ DENOTES UNFINISHED EXTERIOR SURFACE OF WINDOW FRAME AND EXTERIOR SURFACE OF ALL GLASS PANELS LOCATED THEREIN
  - ⑦ DENOTES LOWER SURFACE OF SUSPENDED CEMENT BOARD
  - ⑧ DENOTES PRODUCTION OF UNFINISHED LOWER SURFACE OF CONCRETE SLAB
  - ⑨ DENOTES LINE AND FACE OF CONCRETE, CONCRETE BLOCK, BRICK, WALL OR COLUMN

**PLAN OF SURVEY SHOWING**  
**EXTENT AND LOCATION OF**  
**THE EXCLUSIVE USE PORTION**  
**OF THE COMMON ELEMENTS**  
**ON LEVEL 2**

SCALE : 1:200  
0m 5m 10m 15 metres

P. HOFMANN, O.L.S.  
2004.



**SECTION B-B**  
**TYPICAL OF X-1 TO X-10 inclusive**  
(NOT TO SCALE)

**ENLARGEMENT**  
**ILLUSTRATING X-2 to X-4 inclusive**

**ENLARGEMENT**  
**ILLUSTRATING X-1 and X-10**

**ENLARGEMENT**  
**ILLUSTRATING X-9**

**ENLARGEMENT**  
**ILLUSTRATING X-5 to X-8 inclusive**

**SECTION TO ILLUSTRATE THE VERTICAL RELATIONSHIP OF LEVELS**  
(Not To Scale)

LEVEL 32
LEVEL 31
LEVEL 30
LEVEL 29
LEVEL 28
LEVEL 27
LEVEL 26
LEVEL 25
LEVEL 24
LEVEL 23
LEVEL 22
LEVEL 21
LEVEL 20
LEVEL 19
LEVEL 18
LEVEL 17
LEVEL 16
LEVEL 15
LEVEL 14
LEVEL 13
LEVEL 12
LEVEL 11
LEVEL 10
LEVEL 9
LEVEL 8
LEVEL 7
LEVEL 6
LEVEL 5
LEVEL 4
LEVEL 3
LEVEL 2
LEVEL 1
LEVEL A
LEVEL B